

- LEGEND**
- CONSTRUCTION PHASING LINE
  - PHASE A CONSTRUCTION AREA, LIMITED SCOPE IN PHASE B. SEE ALL NOTES
  - PHASE B CONSTRUCTION AREA
  - ▨ AREA NOT TO BE DISTURBED BY CONSTRUCTION
  - ▩ DEMOLITION - TO BE NOTED ON DEMO PLANS ONLY
  - ▧ EXISTING TEXTURE CEILING (ASBESTOS)

**PHASE A WORK - NOTE TO CONTRACTORS:**

- NO PENETRATIONS OR ATTACHMENTS TO THE EXISTING GYPSUM BOARD PARTITIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.
- THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE GYPSUM BOARD MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CORRIDOR PARTITIONS ON THE EXISTING FLOORS 2 THRU 18 AND OTHER PARTITIONS ON THE BASEMENT AND GROUND LEVELS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE GYPSUM BOARD MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.

**PHASE A - GENERAL FLOOR PLAN NOTES**

- SEE LEGEND. PHASE B AREA AND ADJACENT WALLS ARE NOT TO BE DISTURBED DURING PHASE A TO PREVENT HAZARDOUS MATERIALS IN WALLS FROM BEING DISTURBED. THE BOUNDARY WALL SEPARATING PHASE A AND PHASE B IS NOT TO BE DISTURBED DURING PHASE A.
- CONTACT OWNER UPON DISCOVERY OF ANY ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED OR ALTERED WITHIN THE PROJECT SCOPE.
- FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER. GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PHOTOGRAPH AND VIDEO ALL SPACES PRIOR TO COMMENCEMENT OF RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS AND VIDEO.
- CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
- SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING DATA AND POWER CONDUITS, LIGHTS, PIPES AND DUCTWORK.
- ITEMS TO BE SALVAGED AND REMOVED BY OWNER PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
- PROTECT EXISTING BUILDING SCOPE NOT INCLUDED IN DEMOLITION OR CONSTRUCTION SCOPE, INCLUDING BUT NOT LIMITED TO WALLS, FLOORING, CEILINGS, CASEWORK, AND DOORS. REPAIR OR REPLACE AREAS DAMAGED DURING DEMOLITION OR CONSTRUCTION WITHIN THE PROJECT SCOPE, WITH NO ADDITIONAL COST TO THE OWNER.
- SEE MECHANICAL, PLUMBING AND ELECTRICAL FOR SCOPE AND COORDINATION OF NEW SYSTEMS.
- SEE PHASE B - FLOOR PLAN KEY NOTES FOR WORK TO OCCUR IN TYPICAL CORRIDORS HFL01, HFL02, AND HFL03, FLOORS 2-18, DURING PHASE B OF CONSTRUCTION.
- ELEVATORS ARE NOT PART OF THE PROJECT SCOPE BUT MAY BE USED DURING THE DEMOLITION AND CONSTRUCTION PERIOD. ELEVATORS SHOULD BE PROTECTED, CLEANED AND RETURNED TO THE CONDITION IN WHICH THEY WERE FOUND AT THE END OF EACH JOB PHASE. SEE SPECIFICATIONS.
- SEE FINISH SCHEDULE AND FINISH PLANS FOR FULL SCOPE OF FINISHES. KEYNOTES REFERRING TO FINISHES ARE FOR PHASING CLARIFICATION.

**PHASE A - FLOOR PLAN KEYNOTES**

- INSTALL NEW VCT AND RUBBER BASE IN TYPICAL CORRIDORS HFL01, HFL02, AND HFL03, FLOORS 2-18. SEE FINISH SCHEDULE.
- INSTALL NEW SHAFT WALLS. SEE PARTITION TYPES AND MECHANICAL FOR ADDITIONAL SCOPE AND DETAILS. SEE FINISH SCHEDULE.
- INSTALL NEW DRYER VENTS. SEE MECHANICAL FOR ADDITIONAL DETAILS.
- NOT USED.
- COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING FOR FULL SCOPE OF DEMOLITION/CONSTRUCTION IN ELECTRICAL ROOMS, PIPE CHASES AND MECHANICAL CHASE.
- SEE DEMOLITION RELECTED CEILING PLANS AND RELECTED CEILING PLANS FOR PHASE A WORK TO OCCUR IN THIS AREA.
- PAINT TYPICAL CORRIDORS HFL01, HFL02, AND HFL03, FLOORS 2-18. SEE FINISH SCHEDULE AND PLANS.

**PHASE B WORK - NOTE TO CONTRACTORS:**

- DURING THE PROCESS OF INSTALLING HANGERS, SOFFITS, FAN COILS, METAL PAN COVERS, NEW PARTITIONS OR ANY OTHER MATERIAL OR EQUIPMENT AT THE CEILINGS OF THE EXISTING RESIDENT ROOMS ON FLOORS 2 THRU 18, THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE SPRAY APPLIED TEXTURED CEILING MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CEILINGS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE CEILING MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.
- DURING THE PROCESS OF INSTALLING UL RATED RACEWAYS AT CORRIDOR WALL PENETRATION, INSTALLATION OF NEW PARTITIONS, THE CONTRACTOR SHALL NOT DISTURB THE EXISTING GYPSUM BOARD IN ANY FASHION. NO PENETRATIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.

**PHASE B - GENERAL FLOOR PLAN NOTES**

- SEE LEGEND. PHASE B AREA AND ADJACENT WALLS ARE NOT TO BE DISTURBED DURING PHASE A TO PREVENT HAZARDOUS MATERIALS IN WALLS FROM BEING DISTURBED. THE BOUNDARY WALL SEPARATING PHASE A AND PHASE B IS NOT TO BE DISTURBED DURING PHASE A.
- CONTACT OWNER UPON DISCOVERY OF ANY ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED OR ALTERED WITHIN THE PROJECT SCOPE.
- FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER. GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PHOTOGRAPH AND VIDEO ALL SPACES PRIOR TO COMMENCEMENT OF RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS AND VIDEO.
- CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
- SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING DATA AND POWER CONDUITS, LIGHTS, PIPES AND DUCTWORK.
- ITEMS TO BE SALVAGED AND REMOVED BY OWNERS PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
- PROTECT EXISTING BUILDING SCOPE NOT INCLUDED IN DEMOLITION OR CONSTRUCTION SCOPE, INCLUDING BUT NOT LIMITED TO WALLS, FLOORING, CEILINGS, CASEWORK, AND DOORS. REPAIR OR REPLACE AREAS DAMAGED DURING DEMOLITION OR CONSTRUCTION WITHIN THE PROJECT SCOPE, WITH NO ADDITIONAL COST TO THE OWNER.
- SEE MECHANICAL, PLUMBING AND ELECTRICAL FOR SCOPE AND COORDINATION OF NEW SYSTEMS.
- SEE PHASE B - FLOOR PLAN KEY NOTES FOR WORK TO OCCUR IN TYPICAL CORRIDORS HFL01, HFL02, AND HFL03, FLOORS 2-18, DURING PHASE B OF CONSTRUCTION.
- ELEVATORS ARE NOT PART OF THE PROJECT SCOPE BUT MAY BE USED DURING THE DEMOLITION AND CONSTRUCTION PERIOD. ELEVATORS SHOULD BE PROTECTED, CLEANED AND RETURNED TO THE CONDITION IN WHICH THEY WERE FOUND AT THE END OF EACH JOB PHASE. SEE SPECIFICATIONS.
- SEE FINISH SCHEDULE AND FINISH PLANS FOR FULL SCOPE OF FINISHES. KEYNOTES REFERRING TO FINISHES ARE FOR PHASING CLARIFICATION.

**PHASE B - FLOOR PLAN KEYNOTES**

- INSTALL NEW CARPET AND RUBBER BASE. SEE FINISH SCHEDULE AND FINISH PLAN.
- INSTALL INFILL WALL WHERE EXISTING FAN COIL UNIT WAS REMOVED. SEE DETAILS 1-4/3.2.
- INSTALL NEW VCT AND BASE AROUND EXISTING RESIDENT ROOM FAN COIL UNITS AND VANITIES TO NEAREST FULL TILE, 2" x 4". SEE FINISH SCHEDULE AND PLANS.
- INSTALL NEW FLOORING. SEE FINISH SCHEDULE AND PLANS.
- INSTALL NEW WALL. SEE PARTITION TYPES AND FINISH SCHEDULE.
- PAINT TYPICAL CORRIDORS HFL01, HFL02, AND HFL03, FLOORS 2-18. SEE FINISH SCHEDULE AND FINISH PLANS.
- NOT USED.
- PROTECT EDGE OF CASEWORK THROUGHOUT DEMOLITION/CONSTRUCTION. INSTALL NEW FINISHED CASEWORK EDGE WHERE VANITIES HAVE BEEN REMOVED AS SHOWN IN DETAIL 6/3.1.
- INSTALL PEM ALL EXTINGUISHING SYSTEM IN EXISTING CABINET. SEE MECHANICAL. PROVIDE AND INSTALL NEW LOCK ON EXISTING OVERHEAD CABINET. SEE SPECS.
- PAINT TYPICAL RESIDENCE AND COMMUNITY ROOMS. SEE FINISH SCHEDULE AND FINISH PLANS.

1 GROUND LEVEL FLOOR PLAN  
A1.01 1/4" = 1'-0" REPRODUCTION

**GARVINDESIGNGROUP**  
architecture interiors planning

803.212.1032 p / 803.212.1074 f  
1209 Lincoln Street P.O. Box 18 Columbia, SC 29202

**Swygert & Associates**  
CONSULTING ENGINEERS  
1984 Swygert & Associates, Ltd.,  
Post Office Box 11686  
Columbia, S.C. 29211  
Telephone: (803) 799-0300  
Facsimile: (803) 791-0830  
msl@swygert-associates.com

**SOUTH TOWER**  
**MECHANICAL RENOVATIONS**  
UNIVERSITY OF SOUTH CAROLINA  
STATE PROJECT NUMBER H27-6082-NA  
BID DOCUMENTS

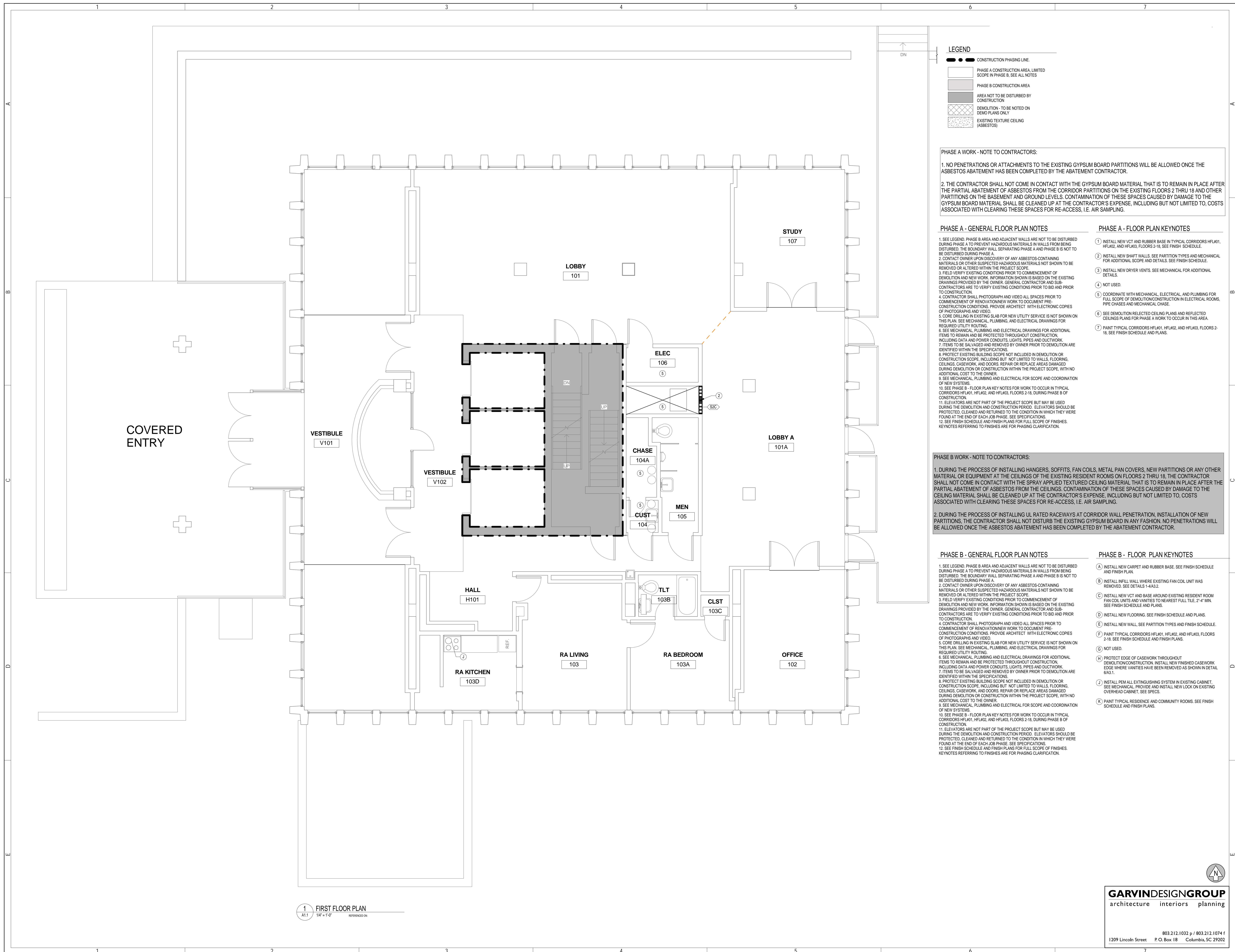
DATE	DESCRIPTION	DRAWN BY	CHECKED BY
03/15/12			

THIS DRAWING AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF SWYBERT & ASSOCIATES, LTD. NO PART OF THIS DRAWING OR INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION SYSTEM, WITHOUT PERMISSION IN WRITING FROM SWYBERT & ASSOCIATES, LTD.

**GROUND LEVEL FLOOR PLAN**

SHEET TITLE: **A1.01**





**LEGEND**

- CONSTRUCTION PHASING LINE
- PHASE A CONSTRUCTION AREA, LIMITED SCOPE IN PHASE B, SEE ALL NOTES
- PHASE B CONSTRUCTION AREA
- AREA NOT TO BE DISTURBED BY CONSTRUCTION
- DEMOLITION - TO BE NOTED ON DEMO PLANS ONLY
- EXISTING TEXTURE CEILING (ASBESTOS)

**PHASE A WORK - NOTE TO CONTRACTORS:**

- NO PENETRATIONS OR ATTACHMENTS TO THE EXISTING GYPSUM BOARD PARTITIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.
- THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE GYPSUM BOARD MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CORRIDOR PARTITIONS ON THE EXISTING FLOORS 2 THRU 18 AND OTHER PARTITIONS ON THE BASEMENT AND GROUND LEVELS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE GYPSUM BOARD MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.

**PHASE A - GENERAL FLOOR PLAN NOTES**

- SEE LEGEND. PHASE B AREA AND ADJACENT WALLS ARE NOT TO BE DISTURBED DURING PHASE A TO PREVENT HAZARDOUS MATERIALS IN WALLS FROM BEING DISTURBED. THE BOUNDARY WALL SEPARATING PHASE A AND PHASE B IS NOT TO BE DISTURBED DURING PHASE A.
- CONTACT OWNER UPON DISCOVERY OF ANY ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED OR ALTERED WITHIN THE PROJECT SCOPE.
- FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER, GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PHOTOGRAPH AND VIDEO ALL SPACES PRIOR TO COMMENCEMENT OF RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS AND VIDEO.
- CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
- SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING DATA AND POWER CONDUITS, LIGHTS, PIPES AND DUCTWORK.
- ITEMS TO BE SALVAGED AND REMOVED BY OWNER PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
- PROTECT EXISTING BUILDING SCOPE NOT INCLUDED IN DEMOLITION OR CONSTRUCTION SCOPE, INCLUDING BUT NOT LIMITED TO WALLS, FLOORING, CEILINGS, CASEWORK, AND DOORS. REPAIR OR REPLACE AREAS DAMAGED DURING DEMOLITION OR CONSTRUCTION WITHIN THE PROJECT SCOPE, WITH NO ADDITIONAL COST TO THE OWNER.
- SEE MECHANICAL, PLUMBING AND ELECTRICAL FOR SCOPE AND COORDINATION OF NEW SYSTEMS.
- SEE PHASE B - FLOOR PLAN KEY NOTES FOR WORK TO OCCUR IN TYPICAL CORRIDORS HFL#01, HFL#02, AND HFL#03, FLOORS 2-18, DURING PHASE B OF CONSTRUCTION.
- ELEVATORS ARE NOT PART OF THE PROJECT SCOPE BUT MAY BE USED DURING THE DEMOLITION AND CONSTRUCTION PERIOD. ELEVATORS SHOULD BE PROTECTED, CLEANED AND RETURNED TO THE CONDITION IN WHICH THEY WERE FOUND AT THE END OF EACH JOB PHASE. SEE SPECIFICATIONS.
- SEE FINISH SCHEDULE AND FINISH PLANS FOR FULL SCOPE OF FINISHES. KEYNOTES REFERRING TO FINISHES ARE FOR PHASING CLARIFICATION.

**PHASE A - FLOOR PLAN KEYNOTES**

- INSTALL NEW VCT AND RUBBER BASE IN TYPICAL CORRIDORS HFL#01, HFL#02, AND HFL#03, FLOORS 2-18. SEE FINISH SCHEDULE.
- INSTALL NEW SHAFT WALLS. SEE PARTITION TYPES AND MECHANICAL FOR ADDITIONAL SCOPE AND DETAILS. SEE FINISH SCHEDULE.
- INSTALL NEW DRYER VENTS. SEE MECHANICAL FOR ADDITIONAL DETAILS.
- NOT USED.
- COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING FOR FULL SCOPE OF DEMOLITION/CONSTRUCTION IN ELECTRICAL ROOMS, PIPE CHASES AND MECHANICAL CHASE.
- SEE DEMOLITION RELECTED CEILING PLANS AND REFLECTED CEILING PLANS FOR PHASE A WORK TO OCCUR IN THIS AREA.
- PAINT TYPICAL CORRIDORS HFL#01, HFL#02, AND HFL#03, FLOORS 2-18. SEE FINISH SCHEDULE AND FINISH PLANS.

**PHASE B WORK - NOTE TO CONTRACTORS:**

- DURING THE PROCESS OF INSTALLING HANGERS, SOFFITS, FAN COILS, METAL PAN COVERS, NEW PARTITIONS OR ANY OTHER MATERIAL OR EQUIPMENT AT THE CEILING OF THE EXISTING RESIDENT ROOMS ON FLOORS 2 THRU 18, THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE SPRAY APPLIED TEXTURED CEILING MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CEILINGS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE CEILING MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.
- DURING THE PROCESS OF INSTALLING UL RATED RACEWAYS AT CORRIDOR WALL PENETRATION, INSTALLATION OF NEW PARTITIONS, THE CONTRACTOR SHALL NOT DISTURB THE EXISTING GYPSUM BOARD IN ANY FASHION. NO PENETRATIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.

**PHASE B - GENERAL FLOOR PLAN NOTES**

- SEE LEGEND. PHASE B AREA AND ADJACENT WALLS ARE NOT TO BE DISTURBED DURING PHASE A TO PREVENT HAZARDOUS MATERIALS IN WALLS FROM BEING DISTURBED. THE BOUNDARY WALL SEPARATING PHASE A AND PHASE B IS NOT TO BE DISTURBED DURING PHASE A.
- CONTACT OWNER UPON DISCOVERY OF ANY ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED OR ALTERED WITHIN THE PROJECT SCOPE.
- FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER, GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PHOTOGRAPH AND VIDEO ALL SPACES PRIOR TO COMMENCEMENT OF RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS AND VIDEO.
- CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
- SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING DATA AND POWER CONDUITS, LIGHTS, PIPES AND DUCTWORK.
- ITEMS TO BE SALVAGED AND REMOVED BY OWNER PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
- PROTECT EXISTING BUILDING SCOPE NOT INCLUDED IN DEMOLITION OR CONSTRUCTION SCOPE, INCLUDING BUT NOT LIMITED TO WALLS, FLOORING, CEILINGS, CASEWORK, AND DOORS. REPAIR OR REPLACE AREAS DAMAGED DURING DEMOLITION OR CONSTRUCTION WITHIN THE PROJECT SCOPE, WITH NO ADDITIONAL COST TO THE OWNER.
- SEE MECHANICAL, PLUMBING AND ELECTRICAL FOR SCOPE AND COORDINATION OF NEW SYSTEMS.
- SEE PHASE B - FLOOR PLAN KEY NOTES FOR WORK TO OCCUR IN TYPICAL CORRIDORS HFL#01, HFL#02, AND HFL#03, FLOORS 2-18, DURING PHASE B OF CONSTRUCTION.
- ELEVATORS ARE NOT PART OF THE PROJECT SCOPE BUT MAY BE USED DURING THE DEMOLITION AND CONSTRUCTION PERIOD. ELEVATORS SHOULD BE PROTECTED, CLEANED AND RETURNED TO THE CONDITION IN WHICH THEY WERE FOUND AT THE END OF EACH JOB PHASE. SEE SPECIFICATIONS.
- SEE FINISH SCHEDULE AND FINISH PLANS FOR FULL SCOPE OF FINISHES. KEYNOTES REFERRING TO FINISHES ARE FOR PHASING CLARIFICATION.

**PHASE B - FLOOR PLAN KEYNOTES**

- INSTALL NEW CARPET AND RUBBER BASE. SEE FINISH SCHEDULE AND FINISH PLAN.
- INSTALL INFILL WALL WHERE EXISTING FAN COIL UNIT WAS REMOVED. SEE DETAILS 1-4/A3.2.
- INSTALL NEW VCT AND BASE AROUND EXISTING RESIDENT ROOM FAN COIL UNITS AND VANITIES TO NEAREST FULL TILE, 2'-4" MIN. SEE FINISH SCHEDULE AND FINISH PLANS.
- INSTALL NEW FLOORING. SEE FINISH SCHEDULE AND FINISH PLANS.
- INSTALL NEW WALL. SEE PARTITION TYPES AND FINISH SCHEDULE.
- PAINT TYPICAL CORRIDORS HFL#01, HFL#02, AND HFL#03, FLOORS 2-18. SEE FINISH SCHEDULE AND FINISH PLANS.
- NOT USED.
- PROTECT EDGE OF CASEWORK THROUGHOUT DEMOLITION/CONSTRUCTION. INSTALL NEW FINISHED CASEWORK EDGE WHERE VANITIES HAVE BEEN REMOVED AS SHOWN IN DETAIL 6/A3.1.
- INSTALL PEM ALL EXTINGUISHING SYSTEM IN EXISTING CABINET. SEE MECHANICAL. PROVIDE AND INSTALL NEW LOCK ON EXISTING OVERHEAD CABINET. SEE SPECS.
- PAINT TYPICAL RESIDENCE AND COMMUNITY ROOMS. SEE FINISH SCHEDULE AND FINISH PLANS.

1 FIRST FLOOR PLAN  
A1.1 1/4" = 1'-0"  
REFERENCED ON

**GARVINDESIGNGROUP**  
architecture interiors planning

803.212.1032 p / 803.212.1074 f  
1209 Lincoln Street P.O. Box 18 Columbia, SC 29202

**Swygert & Associates**  
CONSULTING ENGINEERS  
DBA Swygert & Associates, Ltd. Telephone: (803) 791-0200  
Post Office Box 11486 Faxline: (803) 791-0630  
Columbia, S.C. 29211 mol@swygert-associates.com

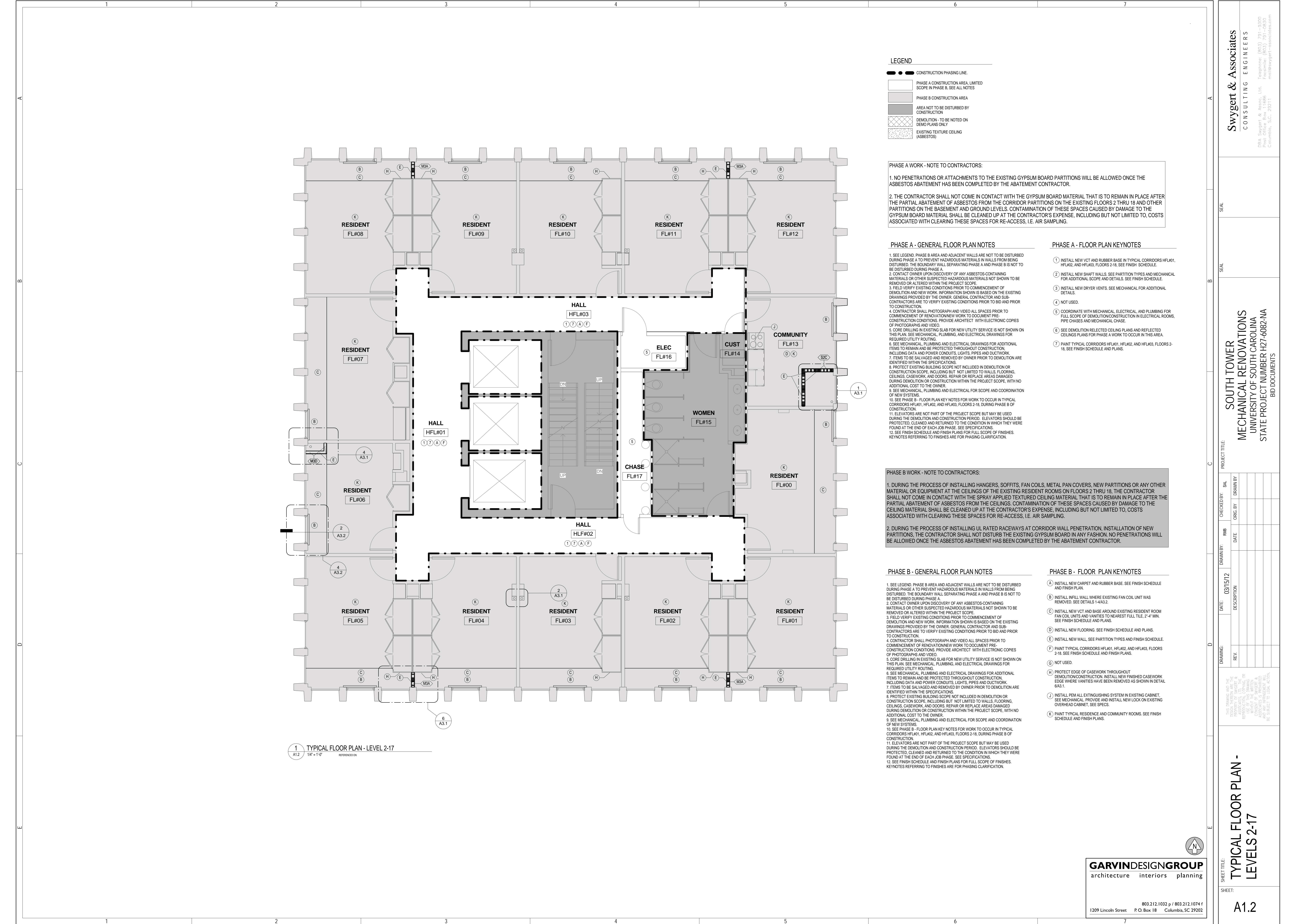
**SOUTH TOWER**  
**MECHANICAL RENOVATIONS**  
UNIVERSITY OF SOUTH CAROLINA  
STATE PROJECT NUMBER H27-6082-1A  
BID DOCUMENTS

DRAWING	DATE	DESCRIPTION	DATE	DESCRIPTION
REV				
DRAWN BY	03/15/12			
CHECKED BY				

**FIRST FLOOR PLAN**

SHEET: **A1.1**





- LEGEND**
- CONSTRUCTION PHASING LINE
  - PHASE A CONSTRUCTION AREA, LIMITED SCOPE IN PHASE B. SEE ALL NOTES
  - PHASE B CONSTRUCTION AREA
  - AREA NOT TO BE DISTURBED BY CONSTRUCTION
  - DEMOLITION - TO BE NOTED ON DEMO PLANS ONLY
  - EXISTING TEXTURE CEILING (ASBESTOS)

**PHASE A WORK - NOTE TO CONTRACTORS:**

- NO PENETRATIONS OR ATTACHMENTS TO THE EXISTING GYPSUM BOARD PARTITIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.
- THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE GYPSUM BOARD MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CORRIDOR PARTITIONS ON THE EXISTING FLOORS 2 THRU 18 AND OTHER PARTITIONS ON THE BASEMENT AND GROUND LEVELS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE GYPSUM BOARD MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.

- PHASE A - GENERAL FLOOR PLAN NOTES**
- SEE LEGEND. PHASE B AREA AND ADJACENT WALLS ARE NOT TO BE DISTURBED DURING PHASE A TO PREVENT HAZARDOUS MATERIALS IN WALLS FROM BEING DISTURBED. THE BOUNDARY WALL SEPARATING PHASE A AND PHASE B IS NOT TO BE DISTURBED DURING PHASE A.
  - CONTACT OWNER UPON DISCOVERY OF ANY ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED OR ALTERED WITHIN THE PROJECT SCOPE.
  - FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER, GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL PHOTOGRAPH AND VIDEO ALL SPACES PRIOR TO COMMENCEMENT OF RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS AND VIDEO.
  - CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
  - SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING DATA AND POWER CONDUITS, LIGHTS, PIPES AND DUCTWORK.
  - ITEMS TO BE SALVAGED AND REMOVED BY OWNER PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
  - PROTECT EXISTING BUILDING SCOPE NOT INCLUDED IN DEMOLITION OR CONSTRUCTION SCOPE, INCLUDING BUT NOT LIMITED TO WALLS, FLOORING, CEILING, CASEWORK, AND DOORS. REPAIR OR REPLACE AREAS DAMAGED DURING DEMOLITION OR CONSTRUCTION WITHIN THE PROJECT SCOPE, WITH NO ADDITIONAL COST TO THE OWNER.
  - SEE MECHANICAL, PLUMBING AND ELECTRICAL FOR SCOPE AND COORDINATION OF NEW SYSTEMS.
  - SEE PHASE B - FLOOR PLAN KEY NOTES FOR WORK TO OCCUR IN TYPICAL CORRIDORS HFL#01, HFL#02, AND HFL#03, FLOORS 2-18, DURING PHASE B OF CONSTRUCTION.
  - ELEVATORS ARE NOT PART OF THE PROJECT SCOPE BUT MAY BE USED DURING THE DEMOLITION AND CONSTRUCTION PERIOD. ELEVATORS SHOULD BE PROTECTED, CLEANED AND RETURNED TO THE CONDITION IN WHICH THEY WERE FOUND AT THE END OF EACH JOB PHASE. SEE SPECIFICATIONS.
  - SEE FINISH SCHEDULE AND FINISH PLANS FOR FULL SCOPE OF FINISHES. KEYNOTES REFERRING TO FINISHES ARE FOR PHASING CLARIFICATION.

- PHASE A - FLOOR PLAN KEYNOTES**
- INSTALL NEW VCT AND RUBBER BASE IN TYPICAL CORRIDORS HFL#01, HFL#02, AND HFL#03, FLOORS 2-18. SEE FINISH SCHEDULE.
  - INSTALL NEW SHAFT WALLS. SEE PARTITION TYPES AND MECHANICAL FOR ADDITIONAL SCOPE AND DETAILS. SEE FINISH SCHEDULE.
  - INSTALL NEW DRYER VENTS. SEE MECHANICAL FOR ADDITIONAL DETAILS.
  - NOT USED.
  - COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING FOR FULL SCOPE OF DEMOLITION/CONSTRUCTION IN ELECTRICAL ROOMS, PIPE CHASES AND MECHANICAL CHASE.
  - SEE DEMOLITION RELECTED CEILING PLANS AND REFLECTED CEILING PLANS FOR PHASE A WORK TO OCCUR IN THIS AREA.
  - PAINT TYPICAL CORRIDORS HFL#01, HFL#02, AND HFL#03, FLOORS 2-18. SEE FINISH SCHEDULE AND PLANS.

**PHASE B WORK - NOTE TO CONTRACTORS:**

- DURING THE PROCESS OF INSTALLING HANGERS, SOFFITS, FAN COILS, METAL PAN COVERS, NEW PARTITIONS OR ANY OTHER MATERIAL OR EQUIPMENT AT THE CEILINGS OF THE EXISTING RESIDENT ROOMS ON FLOORS 2 THRU 18, THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE SPRAY APPLIED TEXTURED CEILING MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CEILINGS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE CEILING MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.
- DURING THE PROCESS OF INSTALLING UL RATED RACEWAYS AT CORRIDOR WALL PENETRATION, INSTALLATION OF NEW PARTITIONS, THE CONTRACTOR SHALL NOT DISTURB THE EXISTING GYPSUM BOARD IN ANY FASHION. NO PENETRATIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.

- PHASE B - GENERAL FLOOR PLAN NOTES**
- SEE LEGEND. PHASE B AREA AND ADJACENT WALLS ARE NOT TO BE DISTURBED DURING PHASE A TO PREVENT HAZARDOUS MATERIALS IN WALLS FROM BEING DISTURBED. THE BOUNDARY WALL SEPARATING PHASE A AND PHASE B IS NOT TO BE DISTURBED DURING PHASE A.
  - CONTACT OWNER UPON DISCOVERY OF ANY ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED OR ALTERED WITHIN THE PROJECT SCOPE.
  - FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER, GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL PHOTOGRAPH AND VIDEO ALL SPACES PRIOR TO COMMENCEMENT OF RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS AND VIDEO.
  - CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
  - SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING DATA AND POWER CONDUITS, LIGHTS, PIPES AND DUCTWORK.
  - ITEMS TO BE SALVAGED AND REMOVED BY OWNER PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
  - PROTECT EXISTING BUILDING SCOPE NOT INCLUDED IN DEMOLITION OR CONSTRUCTION SCOPE, INCLUDING BUT NOT LIMITED TO WALLS, FLOORING, CEILING, CASEWORK, AND DOORS. REPAIR OR REPLACE AREAS DAMAGED DURING DEMOLITION OR CONSTRUCTION WITHIN THE PROJECT SCOPE, WITH NO ADDITIONAL COST TO THE OWNER.
  - SEE MECHANICAL, PLUMBING AND ELECTRICAL FOR SCOPE AND COORDINATION OF NEW SYSTEMS.
  - SEE PHASE B - FLOOR PLAN KEY NOTES FOR WORK TO OCCUR IN TYPICAL CORRIDORS HFL#01, HFL#02, AND HFL#03, FLOORS 2-18, DURING PHASE B OF CONSTRUCTION.
  - ELEVATORS ARE NOT PART OF THE PROJECT SCOPE BUT MAY BE USED DURING THE DEMOLITION AND CONSTRUCTION PERIOD. ELEVATORS SHOULD BE PROTECTED, CLEANED AND RETURNED TO THE CONDITION IN WHICH THEY WERE FOUND AT THE END OF EACH JOB PHASE. SEE SPECIFICATIONS.
  - SEE FINISH SCHEDULE AND FINISH PLANS FOR FULL SCOPE OF FINISHES. KEYNOTES REFERRING TO FINISHES ARE FOR PHASING CLARIFICATION.

- PHASE B - FLOOR PLAN KEYNOTES**
- INSTALL NEW CARPET AND RUBBER BASE. SEE FINISH SCHEDULE AND FINISH PLAN.
  - INSTALL NFLL WALL WHERE EXISTING FAN COIL UNIT WAS REMOVED. SEE DETAILS 1-A&2.
  - INSTALL NEW VCT AND BASE AROUND EXISTING RESIDENT ROOM FAN COIL UNITS AND VANITIES TO NEAREST FULL TILE, 2'-4" MIN. SEE FINISH SCHEDULE AND PLANS.
  - INSTALL NEW FLOORING. SEE FINISH SCHEDULE AND FINISH SCHEDULE.
  - INSTALL NEW WALL. SEE PARTITION TYPES AND FINISH SCHEDULE.
  - PAINT TYPICAL CORRIDORS HFL#01, HFL#02, AND HFL#03, FLOORS 2-18. SEE FINISH SCHEDULE AND FINISH PLANS.
  - NOT USED.
  - PROTECT EDGE OF CASEWORK THROUGHOUT DEMOLITION/CONSTRUCTION. INSTALL NEW FINISHED CASEWORK EDGE WHERE VANITIES HAVE BEEN REMOVED AS SHOWN IN DETAIL 6A3.1.
  - INSTALL PEM ALL EXTINGUISHING SYSTEM IN EXISTING CABINET. SEE MECHANICAL. PROVIDE AND INSTALL NEW LOCK ON EXISTING OVERHEAD CABINET. SEE SPECS.
  - PAINT TYPICAL RESIDENCE AND COMMUNITY ROOMS. SEE FINISH SCHEDULE AND FINISH PLANS.

1 TYPICAL FLOOR PLAN - LEVEL 2-17  
A12 1/4" = 1'-0"

**GARVINDESIGNGROUP**  
architecture interiors planning

803.212.1032 p / 803.212.1074 f  
1209 Lincoln Street P.O. Box 18 Columbia, SC 29202

**Swygert & Associates**  
CONSULTING ENGINEERS

PBA, Swygert & Assoc., Ltd. Telephone: (803) 791-0300  
Fax: (803) 791-0850  
Post Office Box 11686  
Columbia, S.C. 29211  
msl@swygert-associates.com

**SOUTH TOWER**  
**MECHANICAL RENOVATIONS**  
UNIVERSITY OF SOUTH CAROLINA  
STATE PROJECT NUMBER H21-6082-NA  
BID DOCUMENTS

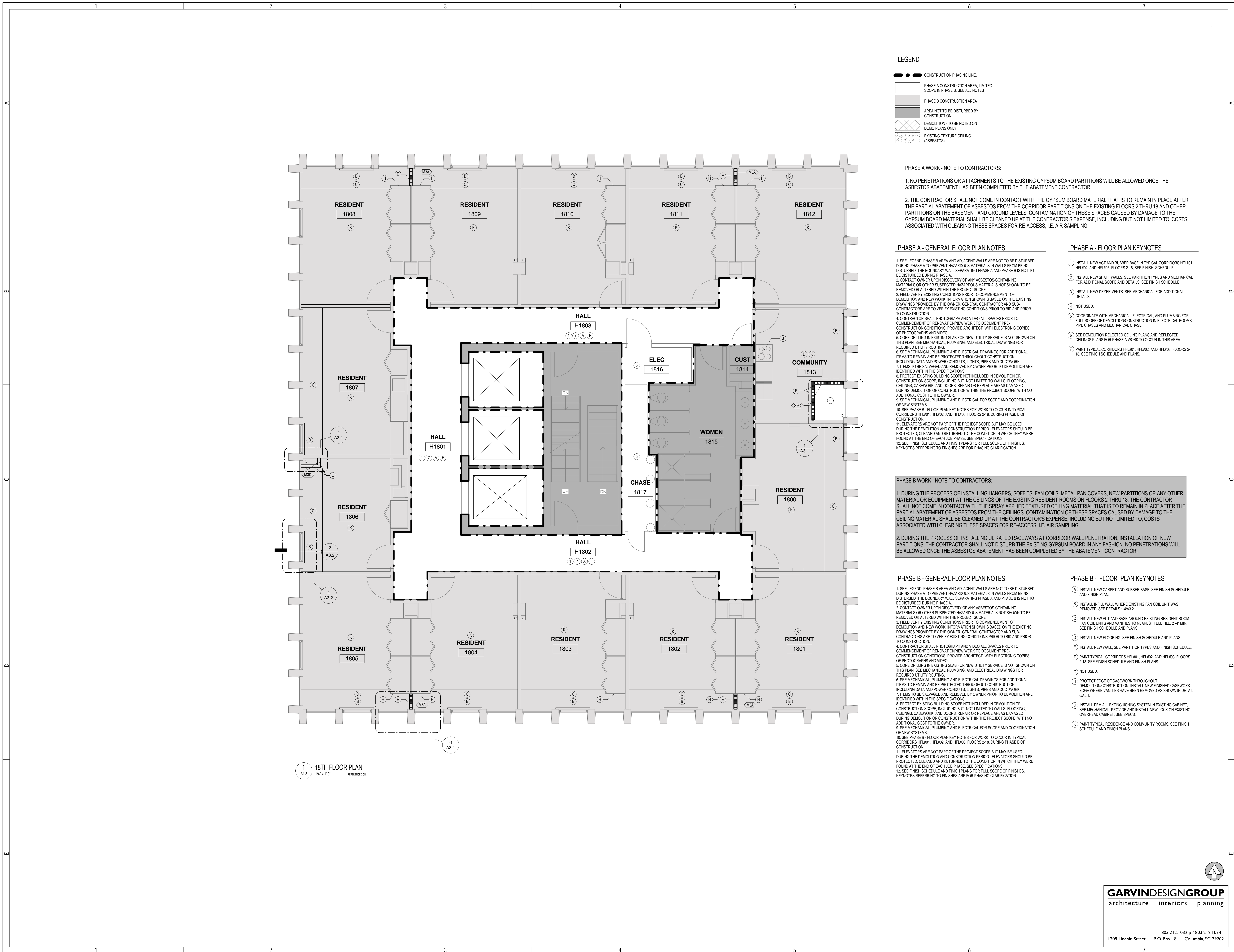
DRAWING		DATE		DESCRIPTION	
DATE:	03/15/12	DATE:		DESCRIPTION:	
CHECKED BY:	SAL	DATE:		DESCRIPTION:	
DRAWN BY:	AMB	DATE:		DESCRIPTION:	
REVISION:		DATE:		DESCRIPTION:	

THIS DRAWING AND THE PROJECT IT REPRESENTS ARE THE PROPERTY OF SWYBERT & ASSOCIATES, INC. NO PART OF THIS DRAWING OR ANY INFORMATION HEREON IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF SWYBERT & ASSOCIATES, INC. ALL RIGHTS RESERVED. © 2012 SWYBERT & ASSOCIATES, INC.

**TYPICAL FLOOR PLAN - LEVELS 2-17**

SHEET: **A12**





**LEGEND**

- ● ● CONSTRUCTION PHASING LINE
- PHASE A CONSTRUCTION AREA, LIMITED SCOPE IN PHASE B. SEE ALL NOTES
- PHASE B CONSTRUCTION AREA
- AREA NOT TO BE DISTURBED BY CONSTRUCTION
- DEMOLITION - TO BE NOTED ON DEMO PLANS ONLY
- EXISTING TEXTURE CEILING (ASBESTOS)

**PHASE A WORK - NOTE TO CONTRACTORS:**

- NO PENETRATIONS OR ATTACHMENTS TO THE EXISTING GYPSUM BOARD PARTITIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.
- THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE GYPSUM BOARD MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CORRIDOR PARTITIONS ON THE EXISTING FLOORS 2 THRU 18 AND OTHER PARTITIONS ON THE BASEMENT AND GROUND LEVELS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE GYPSUM BOARD MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.

**PHASE A - GENERAL FLOOR PLAN NOTES**

- SEE LEGEND. PHASE B AREA AND ADJACENT WALLS ARE NOT TO BE DISTURBED DURING PHASE A TO PREVENT HAZARDOUS MATERIALS IN WALLS FROM BEING DISTURBED. THE BOUNDARY WALL SEPARATING PHASE A AND PHASE B IS NOT TO BE DISTURBED DURING PHASE A.
- CONTACT OWNER UPON DISCOVERY OF ANY ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED OR ALTERED WITHIN THE PROJECT SCOPE.
- FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER, GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PHOTOGRAPH AND VIDEO ALL SPACES PRIOR TO COMMENCEMENT OF RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS AND VIDEO.
- CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
- SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING DATA AND POWER CONDUITS, LIGHTS, PIPES AND DUCTWORK.
- ITEMS TO BE SALVAGED AND REMOVED BY OWNER PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
- PROTECT EXISTING BUILDING SCOPE NOT INCLUDED IN DEMOLITION OR CONSTRUCTION SCOPE, INCLUDING BUT NOT LIMITED TO WALLS, FLOORING, CEILINGS, CASEWORK, AND DOORS. REPAIR OR REPLACE AREAS DAMAGED DURING DEMOLITION OR CONSTRUCTION WITHIN THE PROJECT SCOPE, WITH NO ADDITIONAL COST TO THE OWNER.
- SEE MECHANICAL, PLUMBING AND ELECTRICAL FOR SCOPE AND COORDINATION OF NEW SYSTEMS.
- SEE PHASE B - FLOOR PLAN KEY NOTES FOR WORK TO OCCUR IN TYPICAL CORRIDORS HFL#01, HFL#02, AND HFL#03, FLOORS 2-18, DURING PHASE B OF CONSTRUCTION.
- ELEVATORS ARE NOT PART OF THE PROJECT SCOPE BUT MAY BE USED DURING THE DEMOLITION AND CONSTRUCTION PERIOD. ELEVATORS SHOULD BE PROTECTED, CLEANED AND RETURNED TO THE CONDITION IN WHICH THEY WERE FOUND AT THE END OF EACH JOB PHASE. SEE SPECIFICATIONS.
- SEE FINISH SCHEDULE AND FINISH PLANS FOR FULL SCOPE OF FINISHES. KEYNOTES REFERRING TO FINISHES ARE FOR PHASING CLARIFICATION.

**PHASE A - FLOOR PLAN KEYNOTES**

- INSTALL NEW VCT AND RUBBER BASE IN TYPICAL CORRIDORS HFL#01, HFL#02, AND HFL#03, FLOORS 2-18. SEE FINISH SCHEDULE.
- INSTALL NEW SHAFT WALLS. SEE PARTITION TYPES AND MECHANICAL FOR ADDITIONAL SCOPE AND DETAILS. SEE FINISH SCHEDULE.
- INSTALL NEW DRYER VENTS. SEE MECHANICAL FOR ADDITIONAL DETAILS.
- NOT USED.
- COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING FOR FULL SCOPE OF DEMOLITION/CONSTRUCTION IN ELECTRICAL ROOMS, PIPE CHASES AND MECHANICAL CHASE.
- SEE DEMOLITION SELECTED CEILING PLANS AND REFLECTED CEILING PLANS FOR PHASE A WORK TO OCCUR IN THIS AREA.
- PAINT TYPICAL CORRIDORS HFL#01, HFL#02, AND HFL#03, FLOORS 2-18. SEE FINISH SCHEDULE AND FINISH PLANS.

**PHASE B WORK - NOTE TO CONTRACTORS:**

- DURING THE PROCESS OF INSTALLING HANGERS, SOFFITS, FAN COILS, METAL PAN COVERS, NEW PARTITIONS OR ANY OTHER MATERIAL OR EQUIPMENT AT THE CEILINGS OF THE EXISTING RESIDENT ROOMS ON FLOORS 2 THRU 18, THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE SPRAY APPLIED TEXTURED CEILING MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CEILINGS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE CEILING MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.
- DURING THE PROCESS OF INSTALLING UL RATED RACEWAYS AT CORRIDOR WALL PENETRATION, INSTALLATION OF NEW PARTITIONS, THE CONTRACTOR SHALL NOT DISTURB THE EXISTING GYPSUM BOARD IN ANY FASHION. NO PENETRATIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.

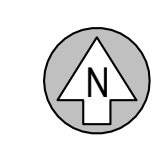
**PHASE B - GENERAL FLOOR PLAN NOTES**

- SEE LEGEND. PHASE B AREA AND ADJACENT WALLS ARE NOT TO BE DISTURBED DURING PHASE A TO PREVENT HAZARDOUS MATERIALS IN WALLS FROM BEING DISTURBED. THE BOUNDARY WALL SEPARATING PHASE A AND PHASE B IS NOT TO BE DISTURBED DURING PHASE A.
- CONTACT OWNER UPON DISCOVERY OF ANY ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED OR ALTERED WITHIN THE PROJECT SCOPE.
- FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER, GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PHOTOGRAPH AND VIDEO ALL SPACES PRIOR TO COMMENCEMENT OF RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS AND VIDEO.
- CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
- SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING DATA AND POWER CONDUITS, LIGHTS, PIPES AND DUCTWORK.
- ITEMS TO BE SALVAGED AND REMOVED BY OWNER PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
- PROTECT EXISTING BUILDING SCOPE NOT INCLUDED IN DEMOLITION OR CONSTRUCTION SCOPE, INCLUDING BUT NOT LIMITED TO WALLS, FLOORING, CEILINGS, CASEWORK, AND DOORS. REPAIR OR REPLACE AREAS DAMAGED DURING DEMOLITION OR CONSTRUCTION WITHIN THE PROJECT SCOPE, WITH NO ADDITIONAL COST TO THE OWNER.
- SEE MECHANICAL, PLUMBING AND ELECTRICAL FOR SCOPE AND COORDINATION OF NEW SYSTEMS.
- SEE PHASE B - FLOOR PLAN KEY NOTES FOR WORK TO OCCUR IN TYPICAL CORRIDORS HFL#01, HFL#02, AND HFL#03, FLOORS 2-18, DURING PHASE B OF CONSTRUCTION.
- ELEVATORS ARE NOT PART OF THE PROJECT SCOPE BUT MAY BE USED DURING THE DEMOLITION AND CONSTRUCTION PERIOD. ELEVATORS SHOULD BE PROTECTED, CLEANED AND RETURNED TO THE CONDITION IN WHICH THEY WERE FOUND AT THE END OF EACH JOB PHASE. SEE SPECIFICATIONS.
- SEE FINISH SCHEDULE AND FINISH PLANS FOR FULL SCOPE OF FINISHES. KEYNOTES REFERRING TO FINISHES ARE FOR PHASING CLARIFICATION.

**PHASE B - FLOOR PLAN KEYNOTES**

- INSTALL NEW CARPET AND RUBBER BASE. SEE FINISH SCHEDULE AND FINISH PLAN.
- INSTALL INFILL WALL WHERE EXISTING FAN COIL UNIT WAS REMOVED. SEE DETAILS 1-A3.2.
- INSTALL NEW VCT AND BASE AROUND EXISTING RESIDENT ROOM FAN COIL UNITS AND VANITIES TO NEAREST FULL TILE, 2'-4" MIN. SEE FINISH SCHEDULE AND FINISH PLANS.
- INSTALL NEW FLOORING. SEE FINISH SCHEDULE AND FINISH PLANS.
- INSTALL NEW WALL. SEE PARTITION TYPES AND FINISH SCHEDULE.
- PAINT TYPICAL CORRIDORS HFL#01, HFL#02, AND HFL#03, FLOORS 2-18. SEE FINISH SCHEDULE AND FINISH PLANS.
- NOT USED.
- PROTECT EDGE OF CASEWORK THROUGHOUT DEMOLITION/CONSTRUCTION. INSTALL NEW FINISHED CASEWORK EDGE WHERE VANITIES HAVE BEEN REMOVED AS SHOWN IN DETAIL 6-A3.1.
- INSTALL REM ALL EXTINGUISHING SYSTEM IN EXISTING CABINET. SEE MECHANICAL. PROVIDE AND INSTALL NEW LOCK ON EXISTING OVERHEAD CABINET. SEE SPECS.
- PAINT TYPICAL RESIDENCE AND COMMUNITY ROOMS. SEE FINISH SCHEDULE AND FINISH PLANS.

**1 18TH FLOOR PLAN**  
1/4" = 1'-0"  
REFERENCED ON



**GARVINDESIGNGROUP**  
architecture interiors planning

803.212.1032 p / 803.212.1074 f  
1209 Lincoln Street P.O. Box 18 Columbia, SC 29202

**Swygert & Associates**  
CONSULTING ENGINEERS  
PBA, Swygert & Assoc., Ltd. Telephone: (803) 791-0300  
Fax: (803) 791-0830  
Post Office Box 11686  
Columbia, S.C. 29211  
msl@swygert-associates.com

**SOUTH TOWER**  
**MECHANICAL RENOVATIONS**  
UNIVERSITY OF SOUTH CAROLINA  
STATE PROJECT NUMBER H21-6082-NA  
BID DOCUMENTS

DRAWING	DATE	DESCRIPTION	CHECKED BY:		DRAWN BY:	
			SAI	AMB	DATE	DATE
	03/15/12					

THIS DRAWING AND THE PROJECT OF WHICH IT IS A PART ARE THE PROPERTY OF SWYGERT & ASSOCIATES, INC. NO PART OF THIS DRAWING IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF SWYGERT & ASSOCIATES, INC. ANY INFORMATION, INCLUDING BUT NOT LIMITED TO, TRADE SECRETS, IS SUBJECT TO LOCAL LAWS.

**18TH FLOOR PLAN**

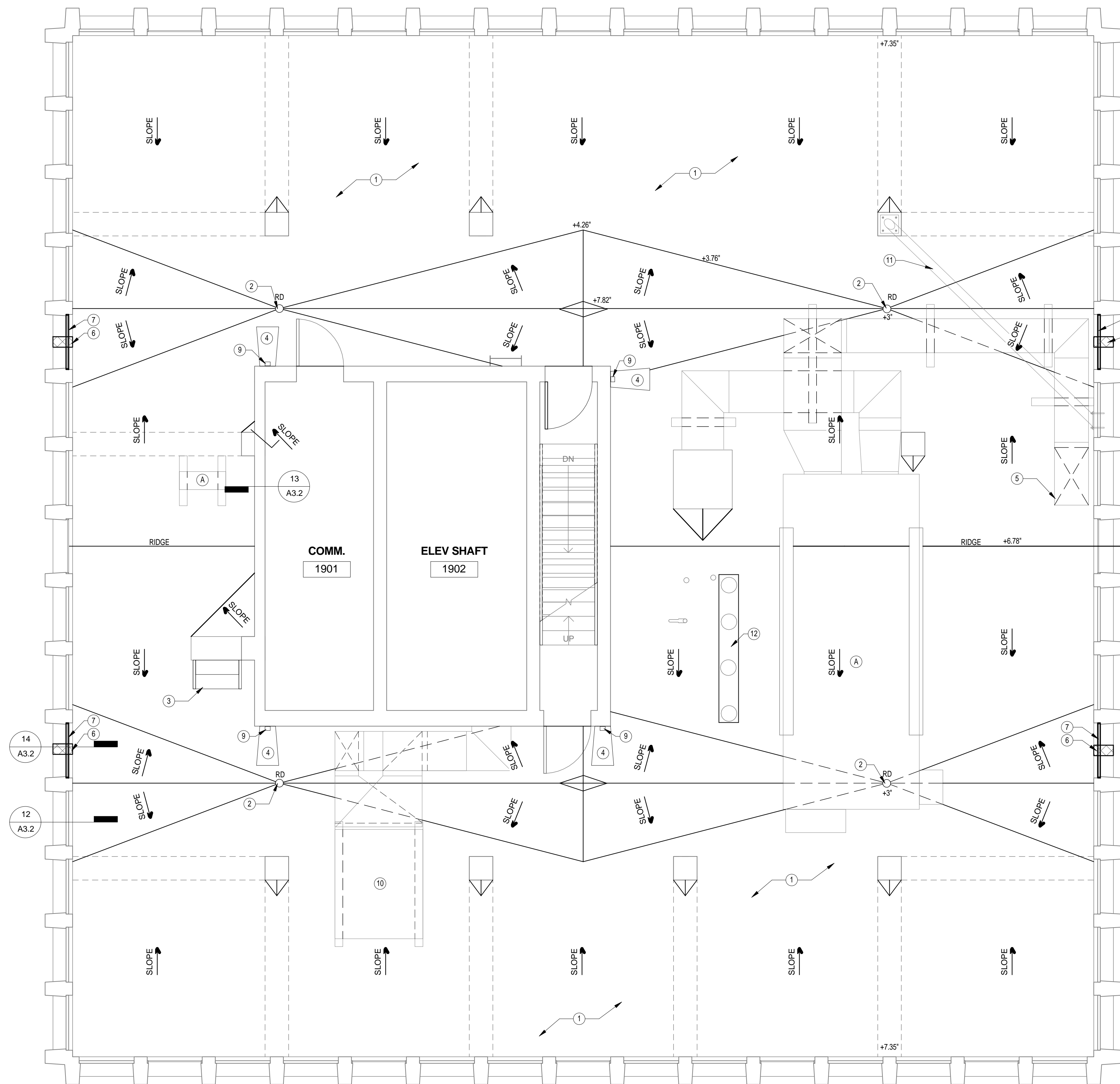
SHEET:  
**A1.3**

**PHASE A WORK - NOTE TO CONTRACTORS:**

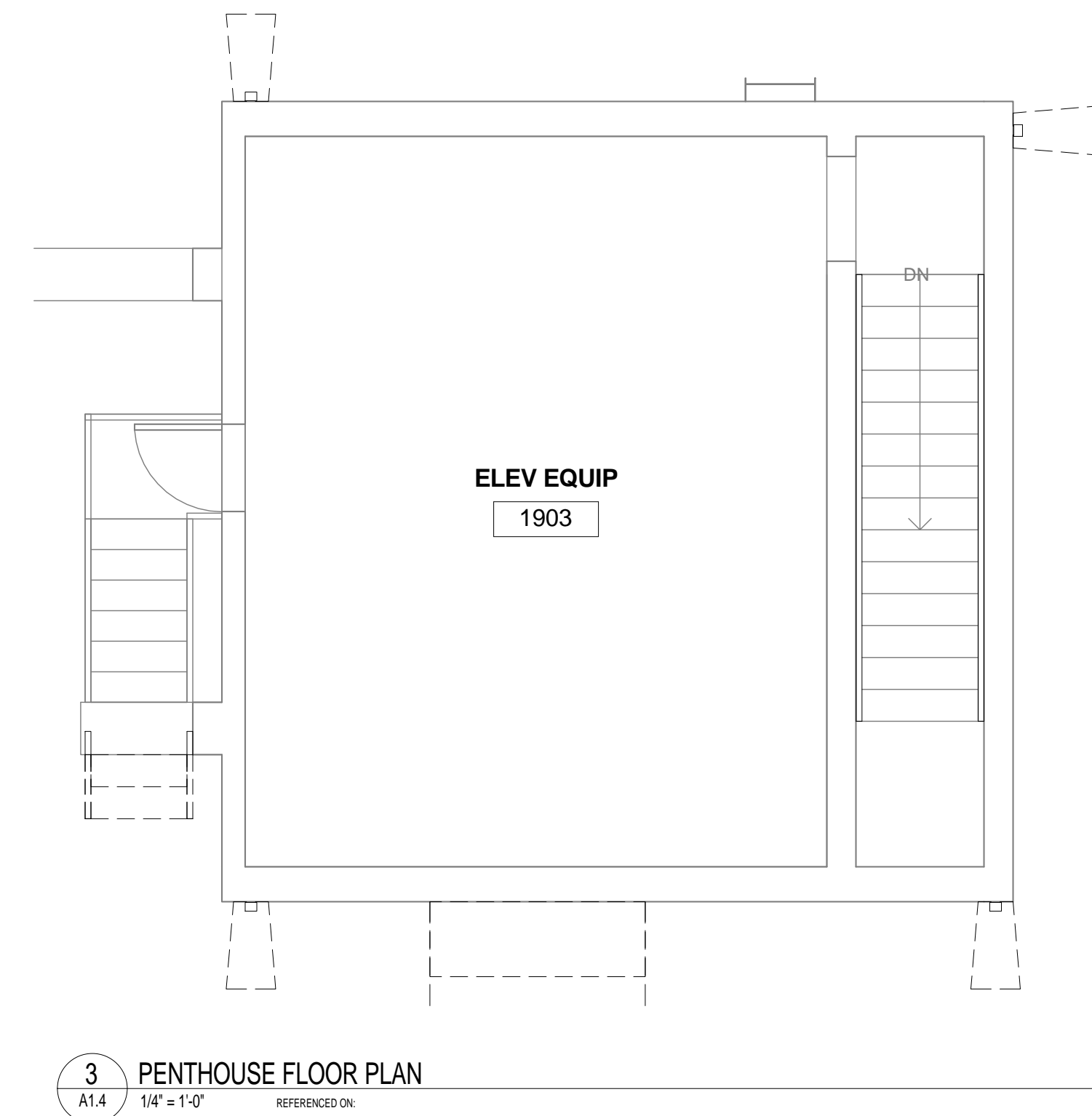
1. NO PENETRATIONS OR ATTACHMENTS TO THE EXISTING GYPSUM BOARD PARTITIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.
2. THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE GYPSUM BOARD MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CORRIDOR PARTITIONS ON THE EXISTING FLOORS 2 THRU 18 AND OTHER PARTITIONS ON THE BASEMENT AND GROUND LEVELS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE GYPSUM BOARD MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.

**PHASE B WORK - NOTE TO CONTRACTORS:**

1. DURING THE PROCESS OF INSTALLING HANGERS, SOFFITS, FAN COILS, METAL PAN COVERS, NEW PARTITIONS OR ANY OTHER MATERIAL OR EQUIPMENT AT THE CEILINGS OF THE EXISTING RESIDENT ROOMS ON FLOORS 2 THRU 18, THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE SPRAY APPLIED TEXTURED CEILING MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CEILINGS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE CEILING MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.
2. DURING THE PROCESS OF INSTALLING UL RATED RACEWAYS AT CORRIDOR WALL PENETRATION, INSTALLATION OF NEW PARTITIONS, THE CONTRACTOR SHALL NOT DISTURB THE EXISTING GYPSUM BOARD IN ANY FASHION. NO PENETRATIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.



**1 ROOF PLAN**  
A1.4 1/4" = 1'-0"  
REFERENCED ON:



**2 PENTHOUSE ROOF PLAN**  
A1.4 1/4" = 1'-0"  
REFERENCED ON:

**PHASE A - GENERAL ROOF PLAN NOTES**

1. SEE LEGEND FOR GENERAL PHASING INDICATIONS. PHASE B AREA AND ADJACENT WALLS ARE NOT TO BE DISTURBED DURING PHASE A TO PREVENT PHASE B HAZARDOUS MATERIALS FROM BEING DISTURBED. THE BOUNDARY WALL SEPARATING PHASE A AND PHASE B IS NOT TO BE DISTURBED DURING PHASE A.
2. CONTACT OWNER UPON DISCOVERY OF ANY ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED OR ALTERED WITHIN THE PROJECT SCOPE.
3. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER. GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL PHOTOGRAPH AND VIDEO ALL SPACES PRIOR TO COMMENCEMENT OF DEMOLITION/RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS AND VIDEO.
5. CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
6. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING DATA AND POWER CONDUITS, LIGHTS, PIPES AND DUCTWORK.
7. ITEMS TO BE SALVAGED AND REMOVED BY OWNER PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
8. PROTECT EXISTING BUILDING SCOPE NOT INCLUDED IN DEMOLITION/CONSTRUCTION WORK. REPAIR OR REPLACEMENT OF DAMAGED AREAS NOT IN THE SCOPE OF WORK SHALL BE INCLUDED IN THE WORK, WITH NO ADDITIONAL COST TO THE OWNER.
9. PROVIDE AND INSTALL ALL SHORING AND SUPPORT SYSTEMS NECESSARY TO ENSURE EXISTING STRUCTURE TO REMAIN IS STABLE THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL DEMOLITION REQUIRED FOR FUTURE INSTALLATION OF MECHANICAL CHASES TO BE COORDINATED WITH MECHANICAL DRAWINGS, EQUIPMENT SPECIFICATIONS, AND STRUCTURAL DRAWINGS.
11. PROTECT EXISTING CONCRETE STRUCTURE TO REMAIN THROUGHOUT DEMOLITION/CONSTRUCTION.
12. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING THE AREAS OF THE EXISTING CONCRETE ROOF STRUCTURE AND CONSTRUCTION TO BE REMOVED.
13. 4" FIBER CANTS ALONG PARAPET AND VERTICAL WALL PERIMETER. TYP.
14. PRE-CAST RIGID INSULATION AT CRACKETS TO DRAIN WITH SLOPE OF 1/2" PER FOOT MINIMUM. MEASURED AT VALLEY CONDITIONS - SLOPE OF INSULATION BETWEEN ROOF DRAIN AND SCUPPER 1/4" PER FOOT MIN. UNLESS NOTED OTHERWISE.
15. INSTALL NEW ROOFING SYSTEM. SEE SPECS.
16. SEE PHASE B - GENERAL DEMOLITION ROOF NOTES AND SHEET A1.4 FOR PHASE B ROOF SCOPE.
17. GENERAL CONTRACTOR, ROOFING SUBCONTRACTOR AND ASBESTOS ABATEMENT SUBCONTRACTOR SHALL COORDINATE TO ENSURE ROOF IS WATER-TIGHT THROUGHOUT DEMOLITION AND CONSTRUCTION, INCLUDING ANY TEMPORARY MEASURES REQUIRED TO MAINTAIN IMPERMEABILITY THROUGHOUT SCOPE OF WORK.

**PHASE A - TYPICAL ROOF PLAN KEYNOTES**

1. NEW ROOFING SYSTEM INCLUDING FLASHING, AND ALL OTHER ROOFING MATERIALS. SEE ROOF DETAILS AND SPECIFICATIONS FOR INFORMATION.
2. NEW ROOF DRAIN. SEE PLUMBING.
3. REINSTALL METAL STAIR AT COMPLETION OF ROOF INSTALLATION.
4. CONC. SPLASH BLOCK, TYP.
5. REMOVE PARTIAL ROOF DECK FOR INSTALLATION OF NEW MECHANICAL CHASES. COORDINATE WITH MECHANICAL, EQUIPMENT SPEC, AND STRUCTURAL.
6. NEW OVERFLOW SCUPPER. SEE DETAILS 14A3.2 & 15A3.2.
7. REINSTALL EXISTING PARAPET WALL LOVERS AT COMPLETION OF OVERFLOW SCUPPER INSTALLATION.
8. CONTINUOUS 4"x4" GUTTER - SEE SPECS AND DETAIL 10A3.2.
9. 3X4 DOWNLEADER. EXTEND FROM GUTTER TO ROOF BELOW. SEE SPECS.
10. DISCONNECT AND TEMPORARILY RELOCATE EXISTING MECHANICAL UNIT TO ALLOW FOR INSTALLATION OF ROOFING. REINSTALL AFTER ROOFING. SEE MECHANICAL.
11. NEW STRUCTURAL BRACE. SEE STRUCTURAL.
12. NEW ROOF CURB. SEE MECHANICAL.

**PHASE A - GENERAL DEMOLITION ROOF NOTES**

1. SEE LEGEND FOR GENERAL PHASING INDICATIONS. PHASE B AREA AND ADJACENT WALLS ARE NOT TO BE DISTURBED DURING PHASE A TO PREVENT PHASE B HAZARDOUS MATERIALS FROM BEING DISTURBED. THE BOUNDARY WALL SEPARATING PHASE A AND PHASE B IS NOT TO BE DISTURBED DURING PHASE A.
2. CONTACT OWNER UPON DISCOVERY OF ANY ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED OR ALTERED WITHIN THE PROJECT SCOPE.
3. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER. GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL PHOTOGRAPH AND VIDEO ALL SPACES PRIOR TO COMMENCEMENT OF DEMOLITION/RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS AND VIDEO.
5. CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
6. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING DATA AND POWER CONDUITS, LIGHTS, PIPES AND DUCTWORK.
7. ITEMS TO BE SALVAGED AND REMOVED BY OWNER PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
8. PROTECT EXISTING BUILDING SCOPE NOT INCLUDED IN DEMOLITION/CONSTRUCTION WORK. REPAIR OR REPLACEMENT OF DAMAGED AREAS NOT IN THE SCOPE OF WORK SHALL BE INCLUDED IN THE WORK, WITH NO ADDITIONAL COST TO THE OWNER.
9. PROVIDE AND INSTALL ALL SHORING AND SUPPORT SYSTEMS NECESSARY TO ENSURE EXISTING STRUCTURE TO REMAIN IS STABLE THROUGHOUT DEMOLITION AND CONSTRUCTION.
10. ALL DEMOLITION REQUIRED FOR FUTURE INSTALLATION OF MECHANICAL CHASES TO BE COORDINATED WITH MECHANICAL DRAWINGS, EQUIPMENT SPECIFICATIONS, AND STRUCTURAL DRAWINGS.
11. PROTECT EXISTING CONCRETE STRUCTURE TO REMAIN THROUGHOUT DEMOLITION/CONSTRUCTION.
12. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING THE AREAS OF THE EXISTING CONCRETE ROOF STRUCTURE AND CONSTRUCTION TO BE REMOVED.
13. 4" FIBER CANTS ALONG PARAPET AND VERTICAL WALL PERIMETER. TYP.
14. PRE-CAST RIGID INSULATION AT CRACKETS TO DRAIN WITH SLOPE OF 1/2" PER FOOT MINIMUM. MEASURED AT VALLEY CONDITIONS - SLOPE OF INSULATION BETWEEN ROOF DRAIN AND SCUPPER 1/4" PER FOOT MIN. UNLESS NOTED OTHERWISE.
15. INSTALL NEW ROOFING SYSTEM. SEE SPECS.
16. ALL WORK PERFORMED IN PHASE A TO REMAIN. PROTECT THROUGHOUT PHASE B.

**PHASE B - ROOF PLAN KEYNOTES**

1. LIMITED SCOPE B INCLUDES INSTALLATION OF NEW MECHANICAL UNIT AND ASSOCIATED DUCTWORK ON EXISTING CURB ALTERED IN PHASE A AND ROOF PENETRATION CREATED AND CAPPED IN PHASE A. SEE MECHANICAL, ELECTRICAL AND PLUMBING FOR ADDITIONAL SCOPE RELATED TO PHASE B.

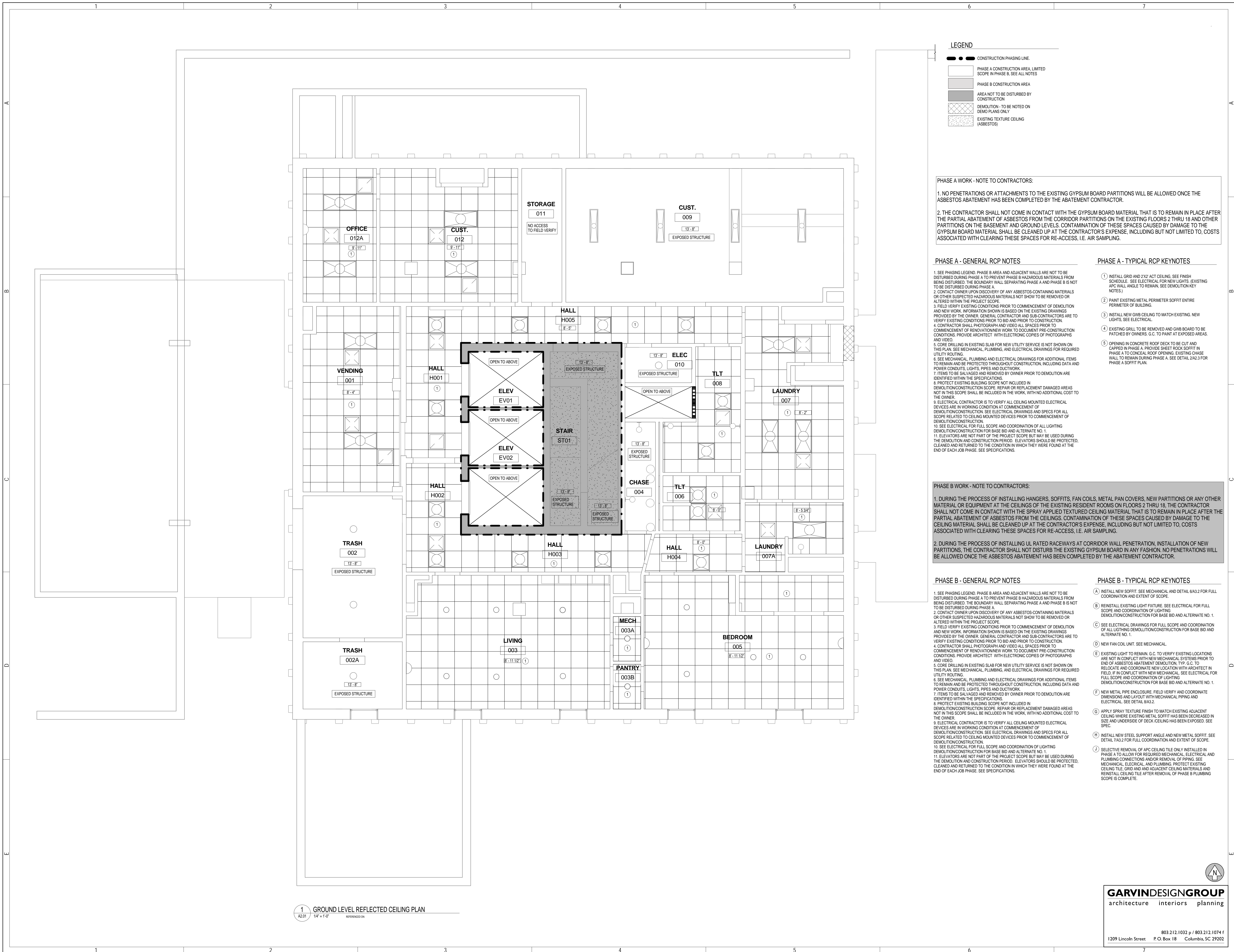
DATE	DESCRIPTION	DATE	DESCRIPTION
03/15/12			

THIS DRAWING AND THE PROJECT OF WHICH IT IS A PART ARE THE PROPERTY OF SWYBERT & ASSOCIATES, INC. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF SWYBERT & ASSOCIATES, INC. ANY REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF SWYBERT & ASSOCIATES, INC. IS SUBJECT TO LEGAL ACTION.









**LEGEND**

- CONSTRUCTION PHASING LINE.
- PHASE A CONSTRUCTION AREA, LIMITED SCOPE IN PHASE B. SEE ALL NOTES
- PHASE B CONSTRUCTION AREA
- AREA NOT TO BE DISTURBED BY CONSTRUCTION
- DEMOLITION - TO BE NOTED ON DEMO PLANS ONLY
- EXISTING TEXTURE CEILING (ASBESTOS)

**PHASE A WORK - NOTE TO CONTRACTORS:**

1. NO PENETRATIONS OR ATTACHMENTS TO THE EXISTING GYPSUM BOARD PARTITIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.
2. THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE GYPSUM BOARD MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CORRIDOR PARTITIONS ON THE EXISTING FLOORS 2 THRU 18 AND OTHER PARTITIONS ON THE BASEMENT AND GROUND LEVELS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE GYPSUM BOARD MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.

**PHASE A - GENERAL RCP NOTES**

1. SEE PHASING LEGEND. PHASE B AREA AND ADJACENT WALLS ARE NOT TO BE DISTURBED DURING PHASE A TO PREVENT PHASE B HAZARDOUS MATERIALS FROM BEING DISTURBED. THE BOUNDARY WALL SEPARATING PHASE A AND PHASE B IS NOT TO BE DISTURBED DURING PHASE A.
2. CONTACT OWNER UPON DISCOVERY OF ANY ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED OR ALTERED WITHIN THE PROJECT SCOPE.
3. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER, GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL PHOTOGRAPH AND VIDEO ALL SPACES PRIOR TO COMMENCEMENT OF RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS AND VIDEO.
5. CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICES IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
6. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING DATA AND POWER CONDUITS, LIGHTS, PIPES AND DUCTWORK.
7. ITEMS TO BE SALVAGED AND REMOVED BY OWNER PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
8. PROTECT EXISTING BUILDING SCOPE NOT INCLUDED IN DEMOLITION/CONSTRUCTION SCOPE. REPAIR OR REPLACEMENT DAMAGED AREAS NOT IN THIS SCOPE SHALL BE INCLUDED IN THE WORK, WITH NO ADDITIONAL COST TO THE OWNER.
9. ELECTRICAL CONTRACTOR IS TO VERIFY ALL CEILING MOUNTED ELECTRICAL DEVICES ARE IN WORKING CONDITION AT COMMENCEMENT OF DEMOLITION/CONSTRUCTION. SEE ELECTRICAL DRAWINGS AND SPECS FOR ALL SCOPE RELATED TO CEILING MOUNTED DEVICES PRIOR TO COMMENCEMENT OF DEMOLITION/CONSTRUCTION.
10. SEE ELECTRICAL FOR FULL SCOPE AND COORDINATION OF ALL LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
11. ELEVATORS ARE NOT PART OF THE PROJECT SCOPE BUT MAY BE USED DURING THE DEMOLITION AND CONSTRUCTION PERIOD. ELEVATORS SHOULD BE PROTECTED, CLEANED AND RETURNED TO THE CONDITION IN WHICH THEY WERE FOUND AT THE END OF EACH JOB PHASE. SEE SPECIFICATIONS.

**PHASE A - TYPICAL RCP KEYNOTES**

1. INSTALL GRID AND 2'X2' ACT CEILING. SEE FINISH SCHEDULE. SEE ELECTRICAL FOR NEW LIGHTS. (EXISTING APC WALL ANGLE TO REMAIN. SEE DEMOLITION KEY NOTES)
2. PAINT EXISTING METAL PERIMETER SOFFIT ENTIRE PERIMETER OF BUILDING.
3. INSTALL NEW GWB CEILING TO MATCH EXISTING. NEW LIGHTS, SEE ELECTRICAL.
4. EXISTING GRILL TO BE REMOVED AND GWB BOARD TO BE PATCHED BY OWNERS. G.C. TO PAINT AT EXPOSED AREAS.
5. OPENING IN CONCRETE ROOF DECK TO BE CUT AND CAPPED IN PHASE A. PROVIDE SHEET ROCK SOFFIT IN PHASE A TO CONCEAL ROOF OPENING. EXISTING CHASE WALL TO REMAIN DURING PHASE A. SEE DETAIL 2/A2.3 FOR PHASE A SOFFIT PLAN.

**PHASE B WORK - NOTE TO CONTRACTORS:**

1. DURING THE PROCESS OF INSTALLING HANGERS, SOFFITS, FAN COILS, METAL PAN COVERS, NEW PARTITIONS OR ANY OTHER MATERIAL OR EQUIPMENT AT THE CEILINGS OF THE EXISTING RESIDENT ROOMS ON FLOORS 2 THRU 18, THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE SPRAY APPLIED TEXTURED CEILING MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CEILINGS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE CEILING MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.
2. DURING THE PROCESS OF INSTALLING UL RATED RACEWAYS AT CORRIDOR WALL PENETRATION, INSTALLATION OF NEW PARTITIONS, THE CONTRACTOR SHALL NOT DISTURB THE EXISTING GYPSUM BOARD IN ANY FASHION. NO PENETRATIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.

**PHASE B - GENERAL RCP NOTES**

1. SEE PHASING LEGEND. PHASE B AREA AND ADJACENT WALLS ARE NOT TO BE DISTURBED DURING PHASE A TO PREVENT PHASE B HAZARDOUS MATERIALS FROM BEING DISTURBED. THE BOUNDARY WALL SEPARATING PHASE A AND PHASE B IS NOT TO BE DISTURBED DURING PHASE A.
2. CONTACT OWNER UPON DISCOVERY OF ANY ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED OR ALTERED WITHIN THE PROJECT SCOPE.
3. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER, GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL PHOTOGRAPH AND VIDEO ALL SPACES PRIOR TO COMMENCEMENT OF RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS AND VIDEO.
5. CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICES IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
6. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING DATA AND POWER CONDUITS, LIGHTS, PIPES AND DUCTWORK.
7. ITEMS TO BE SALVAGED AND REMOVED BY OWNER PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
8. PROTECT EXISTING BUILDING SCOPE NOT INCLUDED IN DEMOLITION/CONSTRUCTION SCOPE. REPAIR OR REPLACEMENT DAMAGED AREAS NOT IN THIS SCOPE SHALL BE INCLUDED IN THE WORK, WITH NO ADDITIONAL COST TO THE OWNER.
9. ELECTRICAL CONTRACTOR IS TO VERIFY ALL CEILING MOUNTED ELECTRICAL DEVICES ARE IN WORKING CONDITION AT COMMENCEMENT OF DEMOLITION/CONSTRUCTION. SEE ELECTRICAL DRAWINGS AND SPECS FOR ALL SCOPE RELATED TO CEILING MOUNTED DEVICES PRIOR TO COMMENCEMENT OF DEMOLITION/CONSTRUCTION.
10. SEE ELECTRICAL FOR FULL SCOPE AND COORDINATION OF LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
11. ELEVATORS ARE NOT PART OF THE PROJECT SCOPE BUT MAY BE USED DURING THE DEMOLITION AND CONSTRUCTION PERIOD. ELEVATORS SHOULD BE PROTECTED, CLEANED AND RETURNED TO THE CONDITION IN WHICH THEY WERE FOUND AT THE END OF EACH JOB PHASE. SEE SPECIFICATIONS.

**PHASE B - TYPICAL RCP KEYNOTES**

1. INSTALL NEW SOFFIT. SEE MECHANICAL AND DETAIL 6/A3.2 FOR FULL COORDINATION AND EXTENT OF SCOPE.
2. REINSTALL EXISTING LIGHT FIXTURE. SEE ELECTRICAL FOR FULL SCOPE AND COORDINATION OF LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
3. SEE ELECTRICAL DRAWINGS FOR FULL SCOPE AND COORDINATION OF ALL LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
4. NEW FAN COIL UNIT. SEE MECHANICAL.
5. EXISTING LIGHT TO REMAIN. G.C. TO VERIFY EXISTING LOCATIONS ARE NOT IN CONFLICT WITH NEW MECHANICAL SYSTEMS PRIOR TO END OF ASBESTOS ABATEMENT DEMOLITION, TYP. G.C. TO RELOCATE AND COORDINATE NEW LOCATION WITH ARCHITECT IN FIELD. IF IN CONFLICT WITH NEW MECHANICAL, SEE ELECTRICAL FOR FULL SCOPE AND COORDINATION OF LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
6. NEW METAL PIPE ENCLOSURE. FIELD VERIFY AND COORDINATE DIMENSIONS AND LAYOUT WITH MECHANICAL, PLUMBING AND ELECTRICAL. SEE DETAIL 6/A3.2.
7. APPLY SPRAY TEXTURE FINISH TO MATCH EXISTING ADJACENT CEILING WHERE EXISTING METAL SOFFIT HAS BEEN DECREASED IN SIZE AND UNDERSIDE OF DECK/CEILING HAS BEEN EXPOSED. SEE SPEC.
8. INSTALL NEW STEEL SUPPORT ANGLE AND NEW METAL SOFFIT. SEE DETAIL 7/A3.2 FOR FULL COORDINATION AND EXTENT OF SCOPE.
9. SELECTIVE REMOVAL OF APC CEILING TILE ONLY INSTALLED IN PHASE A TO ALLOW FOR REQUIRED MECHANICAL, ELECTRICAL AND PLUMBING CONNECTIONS AND/OR REMOVAL OF PIPING. SEE MECHANICAL, ELECTRICAL, AND PLUMBING. PROTECT EXISTING CEILING TILE, GRID AND ADJACENT CEILING MATERIALS AND REINSTALL CEILING TILE AFTER REMOVAL OF PHASE B PLUMBING SCOPE IS COMPLETE.

1 GROUND LEVEL REFLECTED CEILING PLAN  
A2.01 1/4" = 1'-0"



803.212.1032 p / 803.212.1074 f  
1209 Lincoln Street P.O. Box 18 Columbia, SC 29202

**SWYGETT & ASSOCIATES**  
CONSULTING ENGINEERS

**SOUTH TOWER**  
**MECHANICAL RENOVATIONS**  
UNIVERSITY OF SOUTH CAROLINA  
STATE PROJECT NUMBER H27-6082-NA  
BID DOCUMENTS

DATE	DESCRIPTION	DRAWN BY	CHECKED BY
03/15/12			

**GROUND LEVEL REFLECTED CEILING PLAN**

A2.01



**LEGEND**

- CONSTRUCTION PHASING LINE
- PHASE A CONSTRUCTION AREA, LIMITED SCOPE IN PHASE B, SEE ALL NOTES
- PHASE B CONSTRUCTION AREA
- AREA NOT TO BE DISTURBED BY CONSTRUCTION
- DEMOLITION - TO BE NOTED ON DEMO PLANS ONLY
- EXISTING TEXTURE CEILING (ASBESTOS)

**PHASE A WORK - NOTE TO CONTRACTORS:**

- NO PENETRATIONS OR ATTACHMENTS TO THE EXISTING GYPSUM BOARD PARTITIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.
- THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE GYPSUM BOARD MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CORRIDOR PARTITIONS ON THE EXISTING FLOORS 2 THRU 18 AND OTHER PARTITIONS ON THE BASEMENT AND GROUND LEVELS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE GYPSUM BOARD MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.

**PHASE A - GENERAL RCP NOTES**

- SEE PHASING LEGEND. PHASE B AREA AND ADJACENT WALLS ARE NOT TO BE DISTURBED DURING PHASE A TO PREVENT PHASE B HAZARDOUS MATERIALS FROM BEING DISTURBED. THE BOUNDARY WALL SEPARATING PHASE A AND PHASE B IS NOT TO BE DISTURBED DURING PHASE A.
- CONTACT OWNER UPON DISCOVERY OF ANY ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED OR ALTERED WITHIN THE PROJECT SCOPE.
- FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER. GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PHOTOGRAPH AND VIDEO ALL SPACES PRIOR TO COMMENCEMENT OF RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS AND VIDEO.
- CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
- SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING DATA AND POWER CONDUITS, LIGHTS, PIPES AND DUCTWORK.
- ITEMS TO BE SALVAGED AND REMOVED BY OWNER PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
- PROTECT EXISTING BUILDING SCOPE NOT INCLUDED IN DEMOLITION/CONSTRUCTION SCOPE. REPAIR OR REPLACEMENT DAMAGED AREAS NOT IN THIS SCOPE SHALL BE INCLUDED IN THE WORK, WITH NO ADDITIONAL COST TO THE OWNER.
- ELECTRICAL CONTRACTOR IS TO VERIFY ALL CEILING MOUNTED ELECTRICAL DEVICES ARE IN WORKING CONDITION AT COMMENCEMENT OF DEMOLITION/CONSTRUCTION. SEE ELECTRICAL DRAWINGS AND SPECS FOR ALL SCOPE RELATED TO CEILING MOUNTED DEVICES PRIOR TO COMMENCEMENT OF DEMOLITION/CONSTRUCTION.
- SEE ELECTRICAL FOR FULL SCOPE AND COORDINATION OF ALL LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
- ELEVATORS ARE NOT PART OF THE PROJECT SCOPE BUT MAY BE USED DURING THE DEMOLITION AND CONSTRUCTION PERIOD. ELEVATORS SHOULD BE PROTECTED, CLEANED AND RETURNED TO THE CONDITION IN WHICH THEY WERE FOUND AT THE END OF EACH JOB PHASE. SEE SPECIFICATIONS.

**PHASE A - TYPICAL RCP KEYNOTES**

- INSTALL GRID AND 2'X2' ACT CEILING. SEE FINISH SCHEDULE. SEE ELECTRICAL FOR NEW LIGHTS, EXISTING APC WALL ANGLE TO REMAIN. SEE DEMOLITION KEY NOTES.
- PANT EXISTING METAL PERIMETER SOFFIT ENTIRE PERIMETER OF BUILDING.
- INSTALL NEW GWB CEILING TO MATCH EXISTING. NEW LIGHTS, SEE ELECTRICAL.
- EXISTING GRILL TO BE REMOVED AND GWB BOARD TO BE PATCHED BY OWNERS. G.C. TO PAINT AT EXPOSED AREAS.
- OPENING IN CONCRETE ROOF DECK TO BE CUT AND CAPPED IN PHASE A. PROVIDE SHEET ROCK SOFFIT IN PHASE A TO CONCEAL ROOF OPENING. EXISTING CHASE WALL TO REMAIN DURING PHASE A. SEE DETAIL J20.3 FOR PHASE A SOFFIT PLAN.

**PHASE B WORK - NOTE TO CONTRACTORS:**

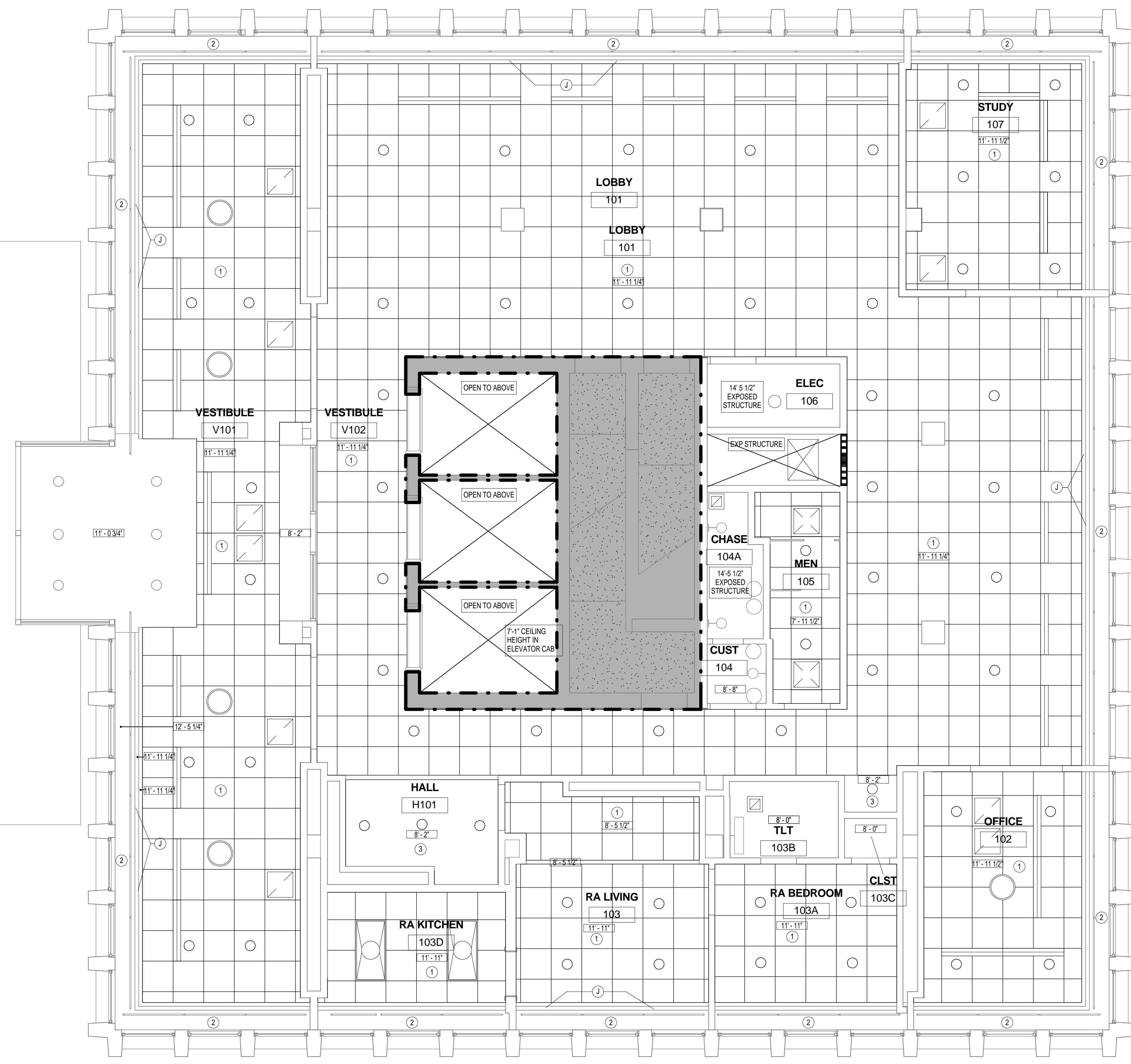
- DURING THE PROCESS OF INSTALLING HANGERS, SOFFITS, FAN COILS, METAL PAN COVERS, NEW PARTITIONS OR ANY OTHER MATERIAL OR EQUIPMENT AT THE CEILINGS OF THE EXISTING RESIDENT ROOMS ON FLOORS 2 THRU 18, THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE SPRAY APPLIED TEXTURED CEILING MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CEILINGS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE CEILING MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.
- DURING THE PROCESS OF INSTALLING UL RATED RACEWAYS AT CORRIDOR WALL PENETRATION, INSTALLATION OF NEW PARTITIONS, THE CONTRACTOR SHALL NOT DISTURB THE EXISTING GYPSUM BOARD IN ANY FASHION. NO PENETRATIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.

**PHASE B - GENERAL RCP NOTES**

- SEE PHASING LEGEND. PHASE B AREA AND ADJACENT WALLS ARE NOT TO BE DISTURBED DURING PHASE A TO PREVENT PHASE B HAZARDOUS MATERIALS FROM BEING DISTURBED. THE BOUNDARY WALL SEPARATING PHASE A AND PHASE B IS NOT TO BE DISTURBED DURING PHASE A.
- CONTACT OWNER UPON DISCOVERY OF ANY ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED OR ALTERED WITHIN THE PROJECT SCOPE.
- FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER. GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PHOTOGRAPH AND VIDEO ALL SPACES PRIOR TO COMMENCEMENT OF RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS AND VIDEO.
- CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
- SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING DATA AND POWER CONDUITS, LIGHTS, PIPES AND DUCTWORK.
- ITEMS TO BE SALVAGED AND REMOVED BY OWNER PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
- PROTECT EXISTING BUILDING SCOPE NOT INCLUDED IN DEMOLITION/CONSTRUCTION SCOPE. REPAIR OR REPLACEMENT DAMAGED AREAS NOT IN THIS SCOPE SHALL BE INCLUDED IN THE WORK, WITH NO ADDITIONAL COST TO THE OWNER.
- ELECTRICAL CONTRACTOR IS TO VERIFY ALL CEILING MOUNTED ELECTRICAL DEVICES ARE IN WORKING CONDITION AT COMMENCEMENT OF DEMOLITION/CONSTRUCTION. SEE ELECTRICAL DRAWINGS AND SPECS FOR ALL SCOPE RELATED TO CEILING MOUNTED DEVICES PRIOR TO COMMENCEMENT OF DEMOLITION/CONSTRUCTION.
- SEE ELECTRICAL FOR FULL SCOPE AND COORDINATION OF LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
- ELEVATORS ARE NOT PART OF THE PROJECT SCOPE BUT MAY BE USED DURING THE DEMOLITION AND CONSTRUCTION PERIOD. ELEVATORS SHOULD BE PROTECTED, CLEANED AND RETURNED TO THE CONDITION IN WHICH THEY WERE FOUND AT THE END OF EACH JOB PHASE. SEE SPECIFICATIONS.

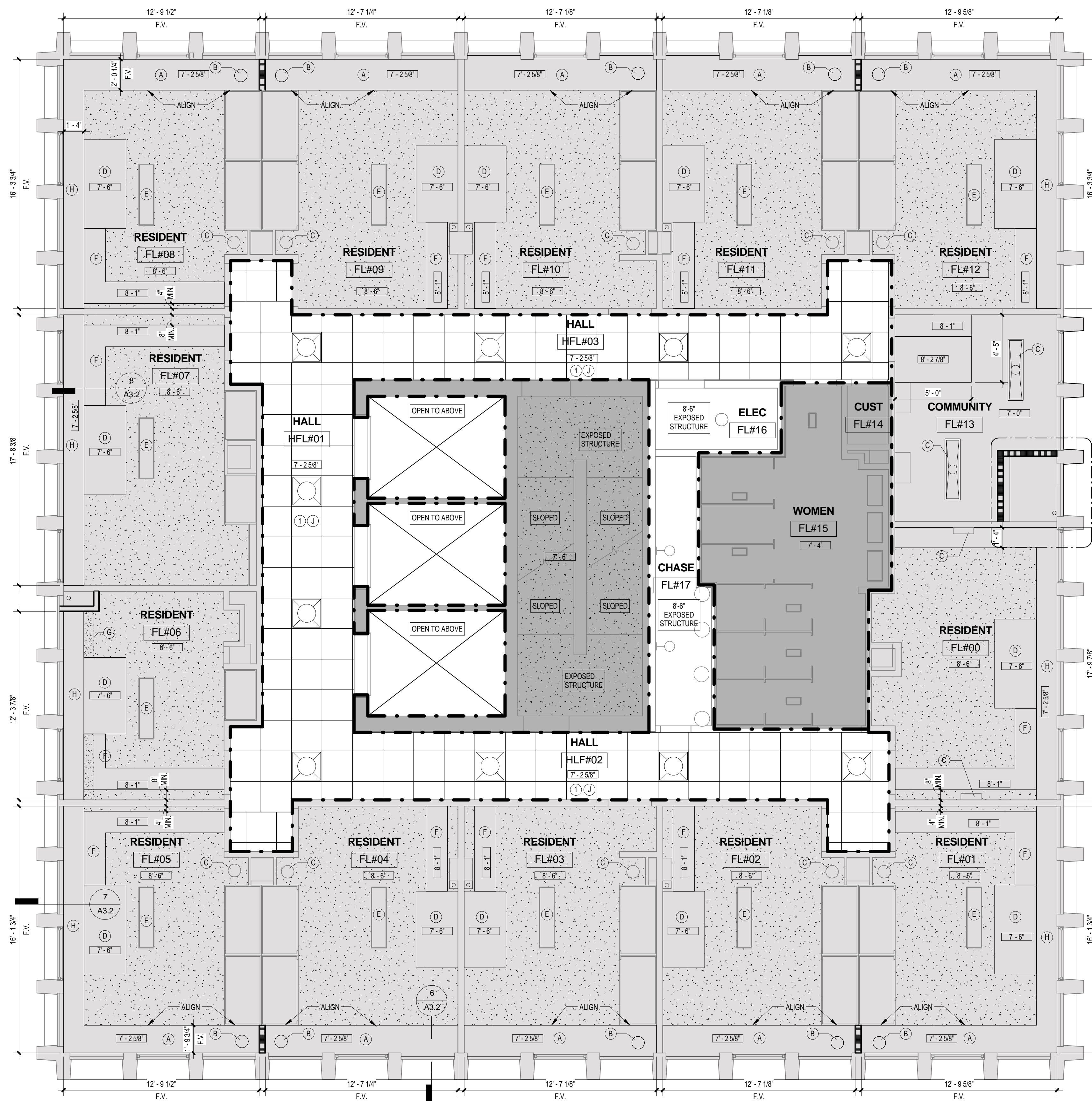
**PHASE B - TYPICAL RCP KEYNOTES**

- INSTALL NEW SOFFIT. SEE MECHANICAL AND DETAIL 6A3.2 FOR FULL COORDINATION AND EXTENT OF SCOPE.
- REINSTALL EXISTING LIGHT FIXTURE. SEE ELECTRICAL FOR FULL SCOPE AND COORDINATION OF LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
- SEE ELECTRICAL DRAWINGS FOR FULL SCOPE AND COORDINATION OF ALL LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
- NEW FAN COIL UNIT. SEE MECHANICAL.
- EXISTING LIGHT TO REMAIN. G.C. TO VERIFY EXISTING LOCATIONS ARE NOT IN CONFLICT WITH NEW MECHANICAL SYSTEMS PRIOR TO END OF ASBESTOS ABATEMENT DEMOLITION, TYP. G.C. TO RELOCATE AND COORDINATE NEW LOCATION WITH ARCHITECT IN FIELD. IF IN CONFLICT WITH NEW MECHANICAL, SEE ELECTRICAL FOR FULL SCOPE AND COORDINATION OF LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
- NEW METAL PIPE ENCLOSURE. FIELD VERIFY AND COORDINATE DIMENSIONS AND LAYOUT WITH MECHANICAL PIPING AND ELECTRICAL. SEE DETAIL 6A3.2.
- APPLY SPRAY TEXTURE FINISH TO MATCH EXISTING ADJACENT CEILING WHERE EXISTING METAL SOFFIT HAS BEEN DECREASED IN SIZE AND UNDERSIDE OF DECK CEILING HAS BEEN EXPOSED. SEE SPEC.
- INSTALL NEW STEEL SUPPORT ANGLE AND NEW METAL SOFFIT. SEE DETAIL J20.3 FOR FULL COORDINATION AND EXTENT OF SCOPE.
- SELECTIVE REMOVAL OF APC CEILING TILE ONLY INSTALLED IN PHASE A TO ALLOW FOR REQUIRED MECHANICAL, ELECTRICAL AND PLUMBING CONNECTIONS AND/OR REMOVAL OF PIPING. SEE MECHANICAL, ELECTRICAL AND PLUMBING. PROTECT EXISTING CEILING TILE, GRID AND ADJACENT CEILING MATERIALS AND REINSTALL CEILING TILE AFTER REMOVAL OF PHASE B PLUMBING SCOPE IS COMPLETE.



**1 FIRST FLOOR REFLECTED CEILING PLAN**  
A2.1 1/4" = 1'-0"





1  
A2.2  
TYPICAL REFLECTED CEILING PLAN - LEVELS 2-17  
1/4" = 1'-0"

**LEGEND**

- CONSTRUCTION PHASING LINE.
- PHASE A CONSTRUCTION AREA LIMITED SCOPE IN PHASE B. SEE ALL NOTES
- PHASE B CONSTRUCTION AREA
- AREA NOT TO BE DISTURBED BY CONSTRUCTION
- DEMOLITION - TO BE NOTED ON DEMO PLANS ONLY
- EXISTING TEXTURE CEILING (ASBESTOS)

**PHASE A WORK - NOTE TO CONTRACTORS:**

- NO PENETRATIONS OR ATTACHMENTS TO THE EXISTING GYPSUM BOARD PARTITIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.
- THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE GYPSUM BOARD MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CORRIDOR PARTITIONS ON THE EXISTING FLOORS 2 THRU 18 AND OTHER PARTITIONS ON THE BASEMENT AND GROUND LEVELS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE GYPSUM BOARD MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.

**PHASE A - GENERAL RCP NOTES**

- SEE PHASING LEGEND. PHASE B AREA AND ADJACENT WALLS ARE NOT TO BE DISTURBED DURING PHASE A TO PREVENT PHASE B HAZARDOUS MATERIALS FROM BEING DISTURBED. THE BOUNDARY WALL SEPARATING PHASE A AND PHASE B IS NOT TO BE DISTURBED DURING PHASE A.
- CONTACT OWNER UPON DISCOVERY OF ANY ASBESTOS CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED OR ALTERED WITHIN THE PROJECT SCOPE.
- FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER. GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PHOTOGRAPH AND VIDEO ALL SPACES PRIOR TO COMMENCEMENT OF RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS AND VIDEO.
- CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
- SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING DATA AND POWER CONDUITS, LIGHTS, PIPES AND DUCTWORK.
- ITEMS TO BE SALVAGED AND REMOVED BY OWNER PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
- PROTECT EXISTING BUILDING SCOPE NOT INCLUDED IN DEMOLITION/CONSTRUCTION SCOPE. REPAIR OR REPLACEMENT DAMAGED AREAS NOT IN THIS SCOPE SHALL BE INCLUDED IN THE WORK, WITH NO ADDITIONAL COST TO THE OWNER.
- ELECTRICAL CONTRACTOR IS TO VERIFY ALL CEILING MOUNTED ELECTRICAL DEVICES ARE IN WORKING CONDITION AT COMMENCEMENT OF DEMOLITION/CONSTRUCTION. SEE ELECTRICAL DRAWINGS AND SPECS FOR ALL SCOPE RELATED TO CEILING MOUNTED DEVICES PRIOR TO COMMENCEMENT OF DEMOLITION/CONSTRUCTION.
- SEE ELECTRICAL FOR FULL SCOPE AND COORDINATION OF ALL LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
- ELEVATORS ARE NOT PART OF THE PROJECT SCOPE BUT MAY BE USED DURING THE DEMOLITION AND CONSTRUCTION PERIOD. ELEVATORS SHOULD BE PROTECTED, CLEANED AND RETURNED TO THE CONDITION IN WHICH THEY WERE FOUND AT THE END OF EACH JOB PHASE. SEE SPECIFICATIONS.

**PHASE A - TYPICAL RCP KEYNOTES**

- INSTALL GRID AND 2X2' ACT CEILING. SEE FINISH SCHEDULE. SEE ELECTRICAL FOR NEW UNITS. EXISTING APC WALL ANGLE TO REMAIN. SEE DEMOLITION KEY NOTES.
- PAINT EXISTING METAL PERIMETER SOFFIT ENTIRE PERIMETER OF BUILDING.
- INSTALL NEW GWB CEILING TO MATCH EXISTING. NEW LIGHTS, SEE ELECTRICAL.
- EXISTING GRILL TO BE REMOVED AND GIBB BOARD TO BE PATCHED BY OWNERS. G.C. TO PAINT AT EXPOSED AREAS.
- OPENING IN CONCRETE ROOF DECK TO BE CUT AND CARPED IN PHASE A. PROVIDE SHEET ROCK SOFFIT IN PHASE A TO CONCEAL ROOF OPENING. EXISTING CHASE WALL TO REMAIN DURING PHASE A. SEE DETAIL 2A2.3 FOR PHASE A SOFFIT PLAN.

**PHASE B WORK - NOTE TO CONTRACTORS:**

- DURING THE PROCESS OF INSTALLING HANGERS, SOFFITS, FAN COILS, METAL PAN COVERS, NEW PARTITIONS OR ANY OTHER MATERIAL OR EQUIPMENT AT THE CEILING OF THE EXISTING RESIDENT ROOMS ON FLOORS 2 THRU 18, THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE SPRAY APPLIED TEXTURED CEILING MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CEILINGS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE CEILING MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.
- DURING THE PROCESS OF INSTALLING UL RATED REARWAYS AT CORRIDOR WALL PENETRATION, INSTALLATION OF NEW PARTITIONS, THE CONTRACTOR SHALL NOT DISTURB THE EXISTING GYPSUM BOARD IN ANY FASHION. NO PENETRATIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.

**PHASE B - GENERAL RCP NOTES**

- SEE PHASING LEGEND. PHASE B AREA AND ADJACENT WALLS ARE NOT TO BE DISTURBED DURING PHASE A TO PREVENT PHASE B HAZARDOUS MATERIALS FROM BEING DISTURBED. THE BOUNDARY WALL SEPARATING PHASE A AND PHASE B IS NOT TO BE DISTURBED DURING PHASE A.
- CONTACT OWNER UPON DISCOVERY OF ANY ASBESTOS CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED OR ALTERED WITHIN THE PROJECT SCOPE.
- FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER. GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PHOTOGRAPH AND VIDEO ALL SPACES PRIOR TO COMMENCEMENT OF RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS AND VIDEO.
- CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
- SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING DATA AND POWER CONDUITS, LIGHTS, PIPES AND DUCTWORK.
- ITEMS TO BE SALVAGED AND REMOVED BY OWNER PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
- PROTECT EXISTING BUILDING SCOPE NOT INCLUDED IN DEMOLITION/CONSTRUCTION SCOPE. REPAIR OR REPLACEMENT DAMAGED AREAS NOT IN THIS SCOPE SHALL BE INCLUDED IN THE WORK, WITH NO ADDITIONAL COST TO THE OWNER.
- ELECTRICAL CONTRACTOR IS TO VERIFY ALL CEILING MOUNTED ELECTRICAL DEVICES ARE IN WORKING CONDITION AT COMMENCEMENT OF DEMOLITION/CONSTRUCTION. SEE ELECTRICAL DRAWINGS AND SPECS FOR ALL SCOPE RELATED TO CEILING MOUNTED DEVICES PRIOR TO COMMENCEMENT OF DEMOLITION/CONSTRUCTION.
- SEE ELECTRICAL FOR FULL SCOPE AND COORDINATION OF LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
- ELEVATORS ARE NOT PART OF THE PROJECT SCOPE BUT MAY BE USED DURING THE DEMOLITION AND CONSTRUCTION PERIOD. ELEVATORS SHOULD BE PROTECTED, CLEANED AND RETURNED TO THE CONDITION IN WHICH THEY WERE FOUND AT THE END OF EACH JOB PHASE. SEE SPECIFICATIONS.

**PHASE B - TYPICAL RCP KEYNOTES**

- INSTALL NEW SOFFIT. SEE MECHANICAL AND DETAIL 6A3.2 FOR FULL COORDINATION AND EXTENT OF SCOPE.
- REINSTALL EXISTING LIGHT FIXTURE. SEE ELECTRICAL FOR FULL SCOPE AND COORDINATION OF LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
- SEE ELECTRICAL DRAWINGS FOR FULL SCOPE AND COORDINATION OF ALL LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
- NEW FAN COIL UNIT. SEE MECHANICAL.
- EXISTING LIGHT TO REMAIN. G.C. TO VERIFY EXISTING LOCATIONS ARE NOT IN CONFLICT WITH NEW MECHANICAL SYSTEMS PRIOR TO END OF ASBESTOS ABATEMENT DEMOLITION. TYP. G.C. TO RELOCATE AND COORDINATE NEW LOCATION WITH ARCHITECT IN FIELD. # IN CONFLICT WITH NEW MECHANICAL. SEE ELECTRICAL FOR FULL SCOPE AND COORDINATION OF LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
- NEW METAL PIPE ENCLOSURE. FIELD VERIFY AND COORDINATE DIMENSIONS AND LAYOUT WITH MECHANICAL PIPING AND ELECTRICAL. SEE DETAIL 6A3.3.
- APPLY SPRAY TEXTURE FINISH TO MATCH EXISTING ADJACENT CEILING WHERE EXISTING METAL SOFFIT HAS BEEN DECREASED IN SIZE AND UNDERSIDE OF DECK/CEILING HAS BEEN EXPOSED. SEE SPEC.
- INSTALL NEW STEEL SUPPORT ANGLE AND NEW METAL SOFFIT. SEE DETAIL 7A3.2 FOR FULL COORDINATION AND EXTENT OF SCOPE.
- SELECTIVE REMOVAL OF APC CEILING TILE ONLY INSTALLED IN PHASE A TO ALLOW FOR REQUIRED MECHANICAL, ELECTRICAL AND PLUMBING CONNECTIONS AND/OR REMOVAL OF PIPING. SEE MECHANICAL, ELECTRICAL AND PLUMBING. PROTECT EXISTING CEILING TILE, GRID AND ADJACENT CEILING MATERIALS AND REINSTALL CEILING TILE AFTER REMOVAL OF PHASE B PLUMBING SCOPE IS COMPLETE.

DATE	DESCRIPTION	DRAWN BY	CHECKED BY	DATE	DESCRIPTION	DATE	DESCRIPTION
03/15/12							



DATE	DESCRIPTION	DRAWN BY	CHECKED BY	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
03/15/12							

**LEGEND**

- CONSTRUCTION PHASING LINE.
- PHASE A CONSTRUCTION AREA LIMITED SCOPE IN PHASE B. SEE ALL NOTES
- PHASE B CONSTRUCTION AREA
- AREA NOT TO BE DISTURBED BY CONSTRUCTION
- DEMOLITION - TO BE NOTED ON DEMO PLANS ONLY
- EXISTING TEXTURE CEILING (ASBESTOS)

**PHASE A WORK - NOTE TO CONTRACTORS:**

1. NO PENETRATIONS OR ATTACHMENTS TO THE EXISTING GYPSUM BOARD PARTITIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.
2. THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE GYPSUM BOARD MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CORRIDOR PARTITIONS ON THE EXISTING FLOORS 2 THRU 18 AND OTHER PARTITIONS ON THE BASEMENT AND GROUND LEVELS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE GYPSUM BOARD MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.

**PHASE A - GENERAL RCP NOTES**

1. SEE PHASING LEGEND. PHASE B AREA AND ADJACENT WALLS ARE NOT TO BE DISTURBED DURING PHASE A TO PREVENT PHASE B HAZARDOUS MATERIALS FROM BEING DISTURBED. THE BOUNDARY WALL SEPARATING PHASE A AND PHASE B IS NOT TO BE DISTURBED DURING PHASE A.
2. CONTACT OWNER UPON DISCOVERY OF ANY ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED OR ALTERED WITHIN THE PROJECT SCOPE.
3. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER, GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL PHOTOGRAPH AND VIDEO ALL SPACES PRIOR TO COMMENCEMENT OF RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS AND VIDEO.
5. CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
6. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING DATA AND POWER CONDUITS, LIGHTS, PIPES AND DUCTWORK.
7. ITEMS TO BE SALVAGED AND REMOVED BY OWNER PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
8. PROTECT EXISTING BUILDING SCOPE NOT INCLUDED IN DEMOLITION/CONSTRUCTION SCOPE. REPAIR OR REPLACEMENT DAMAGED AREAS NOT IN THIS SCOPE SHALL BE INCLUDED IN THE WORK, WITH NO ADDITIONAL COST TO THE OWNER.
9. ELECTRICAL CONTRACTOR IS TO VERIFY ALL CEILING MOUNTED ELECTRICAL DEVICES ARE IN WORKING CONDITION AT COMMENCEMENT OF DEMOLITION/CONSTRUCTION. SEE ELECTRICAL DRAWINGS AND SPECS FOR ALL SCOPE RELATED TO CEILING MOUNTED DEVICES PRIOR TO COMMENCEMENT OF DEMOLITION/CONSTRUCTION.
10. SEE ELECTRICAL FOR FULL SCOPE AND COORDINATION OF ALL LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
11. ELEVATORS ARE NOT PART OF THE PROJECT SCOPE BUT MAY BE USED DURING THE DEMOLITION AND CONSTRUCTION PERIOD. ELEVATORS SHOULD BE PROTECTED, CLEANED AND RETURNED TO THE CONDITION IN WHICH THEY WERE FOUND AT THE END OF EACH JOB PHASE. SEE SPECIFICATIONS.

**PHASE A - TYPICAL RCP KEYNOTES**

- (1) INSTALL GRID AND 2X2 ACT CEILING. SEE FINISH SCHEDULE. SEE ELECTRICAL FOR NEW LIGHTS. (EXISTING APC WALL ANGLE TO REMAIN. SEE DEMOLITION KEY NOTES)
- (2) PAINT EXISTING METAL PERIMETER SOFFIT ENTIRE PERIMETER OF BUILDING.
- (3) INSTALL NEW GWB CEILING TO MATCH EXISTING. NEW LIGHTS. SEE ELECTRICAL.
- (4) EXISTING GRILL TO BE REMOVED AND GWB BOARD TO BE PATCHED BY OWNERS. G.C. TO PAINT AT EXPOSED AREAS.
- (5) OPENING IN CONCRETE ROOF DECK TO BE CUT AND CAPPED IN PHASE A. PROVIDE SHEET ROCK SOFFIT IN PHASE A TO CONCEAL ROOF OPENING. EXISTING CHASE WALL TO REMAIN DURING PHASE A. SEE DETAIL 2/A2.3 FOR PHASE A SOFFIT PLAN.

**PHASE B WORK - NOTE TO CONTRACTORS:**

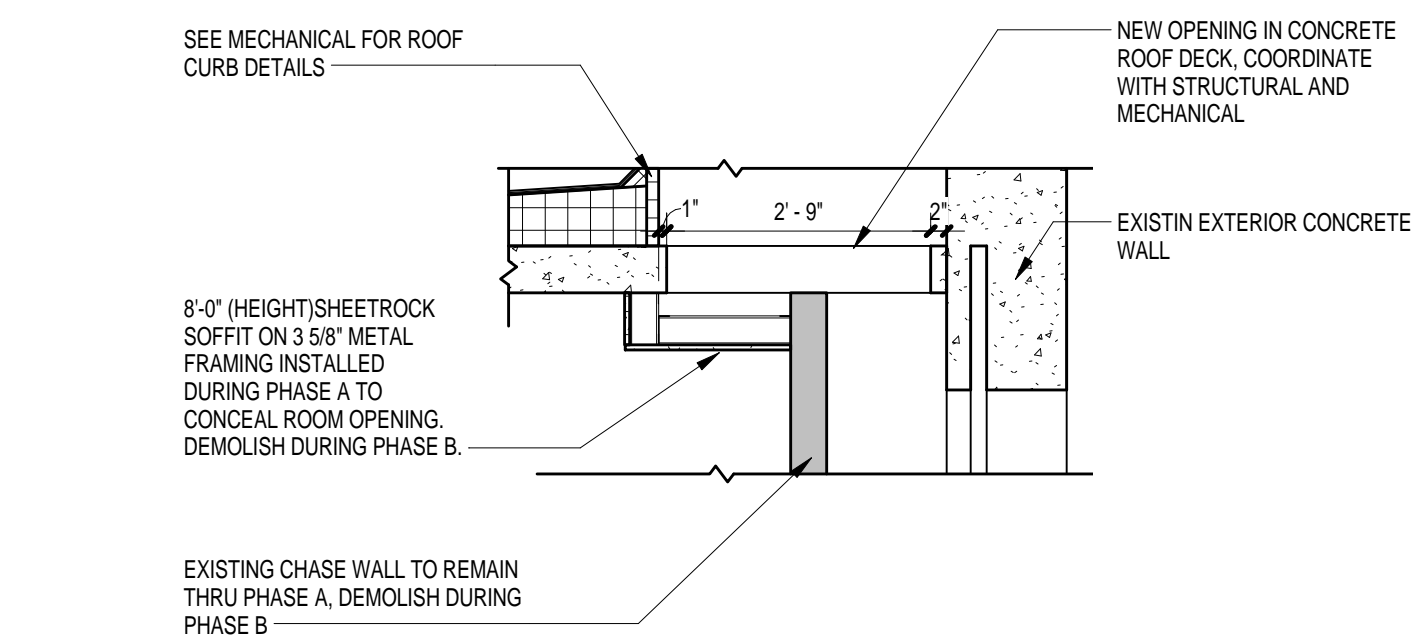
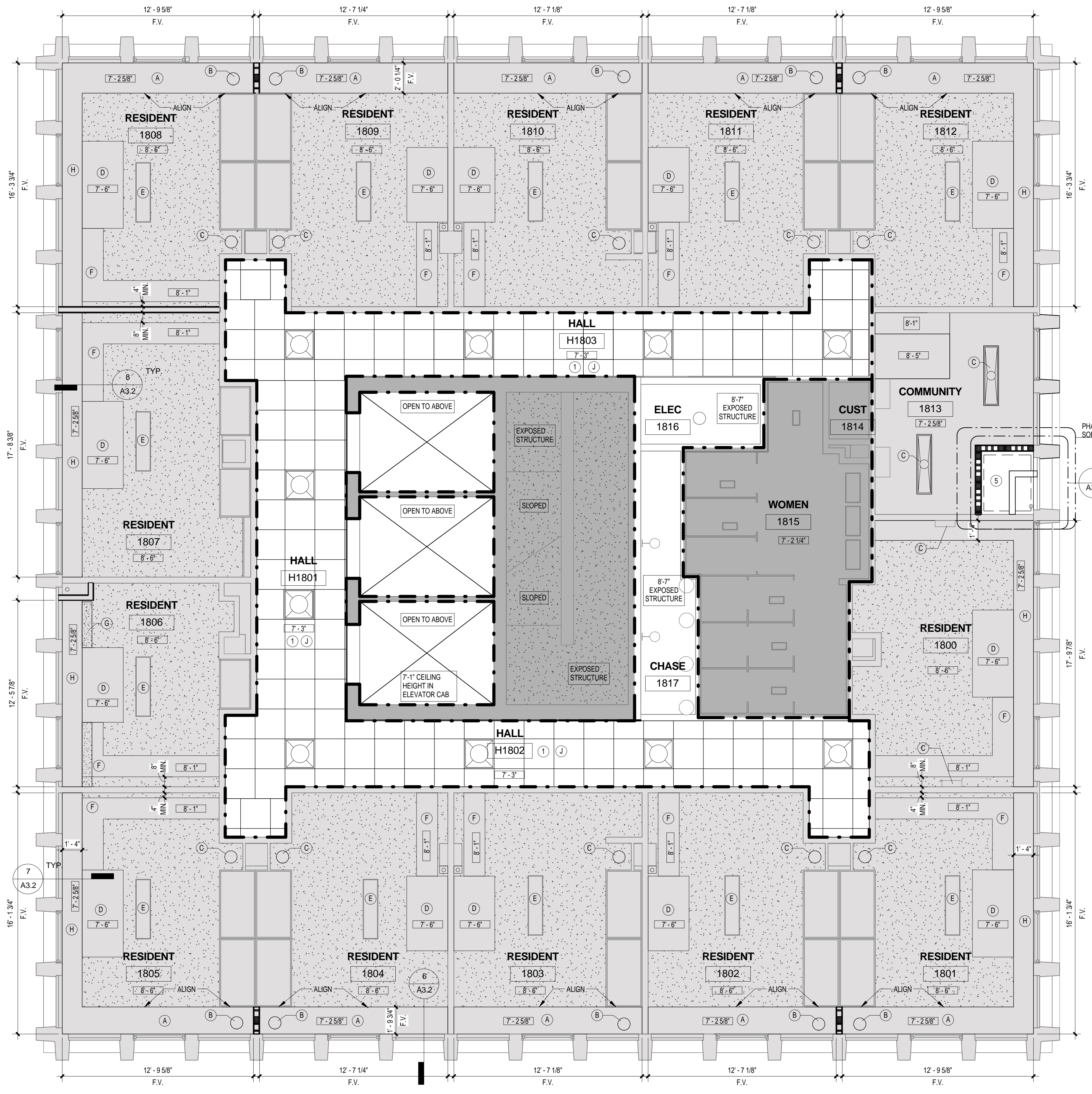
1. DURING THE PROCESS OF INSTALLING HANGERS, SOFFITS, FAN COILS, METAL PAN COVERS, NEW PARTITIONS OR ANY OTHER MATERIAL OR EQUIPMENT AT THE CEILINGS OF THE EXISTING RESIDENT ROOMS ON FLOORS 2 THRU 18, THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE SPRAY APPLIED TEXTURED CEILING MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CEILINGS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE CEILING MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.
2. DURING THE PROCESS OF INSTALLING UL RATED RACEWAYS AT CORRIDOR WALL PENETRATION, INSTALLATION OF NEW PARTITIONS, THE CONTRACTOR SHALL NOT DISTURB THE EXISTING GYPSUM BOARD IN ANY FASHION. NO PENETRATIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.

**PHASE B - GENERAL RCP NOTES**

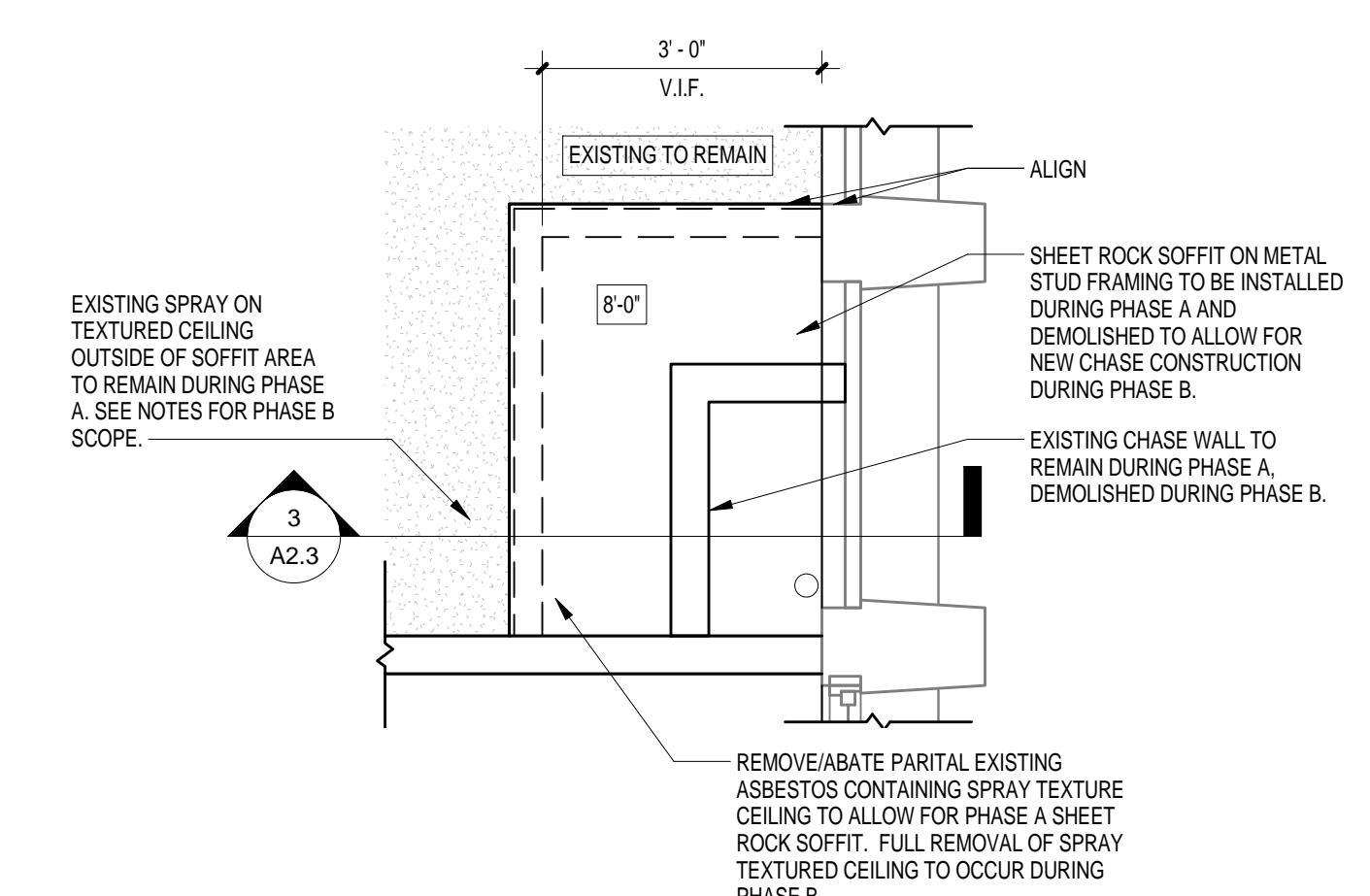
1. SEE PHASING LEGEND. PHASE B AREA AND ADJACENT WALLS ARE NOT TO BE DISTURBED DURING PHASE A TO PREVENT PHASE B HAZARDOUS MATERIALS FROM BEING DISTURBED. THE BOUNDARY WALL SEPARATING PHASE A AND PHASE B IS NOT TO BE DISTURBED DURING PHASE A.
2. CONTACT OWNER UPON DISCOVERY OF ANY ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED OR ALTERED WITHIN THE PROJECT SCOPE.
3. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER, GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL PHOTOGRAPH AND VIDEO ALL SPACES PRIOR TO COMMENCEMENT OF RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS AND VIDEO.
5. CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
6. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING DATA AND POWER CONDUITS, LIGHTS, PIPES AND DUCTWORK.
7. ITEMS TO BE SALVAGED AND REMOVED BY OWNER PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
8. PROTECT EXISTING BUILDING SCOPE NOT INCLUDED IN DEMOLITION/CONSTRUCTION SCOPE. REPAIR OR REPLACEMENT DAMAGED AREAS NOT IN THIS SCOPE SHALL BE INCLUDED IN THE WORK, WITH NO ADDITIONAL COST TO THE OWNER.
9. ELECTRICAL CONTRACTOR IS TO VERIFY ALL CEILING MOUNTED ELECTRICAL DEVICES ARE IN WORKING CONDITION AT COMMENCEMENT OF DEMOLITION/CONSTRUCTION. SEE ELECTRICAL DRAWINGS AND SPECS FOR ALL SCOPE RELATED TO CEILING MOUNTED DEVICES PRIOR TO COMMENCEMENT OF DEMOLITION/CONSTRUCTION.
10. SEE ELECTRICAL FOR FULL SCOPE AND COORDINATION OF LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
11. ELEVATORS ARE NOT PART OF THE PROJECT SCOPE BUT MAY BE USED DURING THE DEMOLITION AND CONSTRUCTION PERIOD. ELEVATORS SHOULD BE PROTECTED, CLEANED AND RETURNED TO THE CONDITION IN WHICH THEY WERE FOUND AT THE END OF EACH JOB PHASE. SEE SPECIFICATIONS.

**PHASE B - TYPICAL RCP KEYNOTES**

- (A) INSTALL NEW SOFFIT. SEE MECHANICAL AND DETAIL 6/A3.2 FOR FULL COORDINATION AND EXTENT OF SCOPE.
- (B) REINSTALL EXISTING LIGHT FIXTURE. SEE ELECTRICAL FOR FULL SCOPE AND COORDINATION OF LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
- (C) SEE ELECTRICAL DRAWINGS FOR FULL SCOPE AND COORDINATION OF ALL LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
- (D) NEW FAN COIL UNIT. SEE MECHANICAL.
- (E) EXISTING LIGHT TO REMAIN. G.C. TO VERIFY EXISTING LOCATIONS ARE NOT IN CONFLICT WITH NEW MECHANICAL SYSTEMS PRIOR TO END OF ASBESTOS ABATEMENT DEMOLITION. TYP. G.C. TO RELOCATE AND COORDINATE NEW LOCATION WITH ARCHITECT IN FIELD. IF IN CONFLICT WITH NEW MECHANICAL, SEE ELECTRICAL FOR FULL SCOPE AND COORDINATION OF LIGHTING DEMOLITION/CONSTRUCTION FOR BASE BID AND ALTERNATE NO. 1.
- (F) NEW METAL PIPE ENCLOSURE. FIELD VERIFY AND COORDINATE DIMENSIONS AND LAYOUT WITH MECHANICAL PIPING AND ELECTRICAL. SEE DETAIL 8/A3.2.
- (G) APPLY SPRAY TEXTURE FINISH TO MATCH EXISTING ADJACENT CEILING WHERE EXISTING METAL SOFFIT HAS BEEN DECREASED IN SIZE AND UNDERSIDE OF DECK/CEILING HAS BEEN EXPOSED. SEE SPEC.
- (H) INSTALL NEW STEEL SUPPORT ANGLE AND NEW METAL SOFFIT. SEE DETAIL 7/A3.2 FOR FULL COORDINATION AND EXTENT OF SCOPE.
- (I) SELECTIVE REMOVAL OF APC CEILING TILE ONLY INSTALLED IN PHASE A TO ALLOW FOR REQUIRED MECHANICAL, ELECTRICAL AND PLUMBING CONNECTIONS AND/OR REMOVAL OF PIPING. SEE MECHANICAL, ELECTRICAL, AND PLUMBING. PROTECT EXISTING CEILING TILE, GRID AND ADJACENT CEILING MATERIALS AND REINSTALL CEILING TILE AFTER REMOVAL OF PHASE B PLUMBING SCOPE IS COMPLETE.



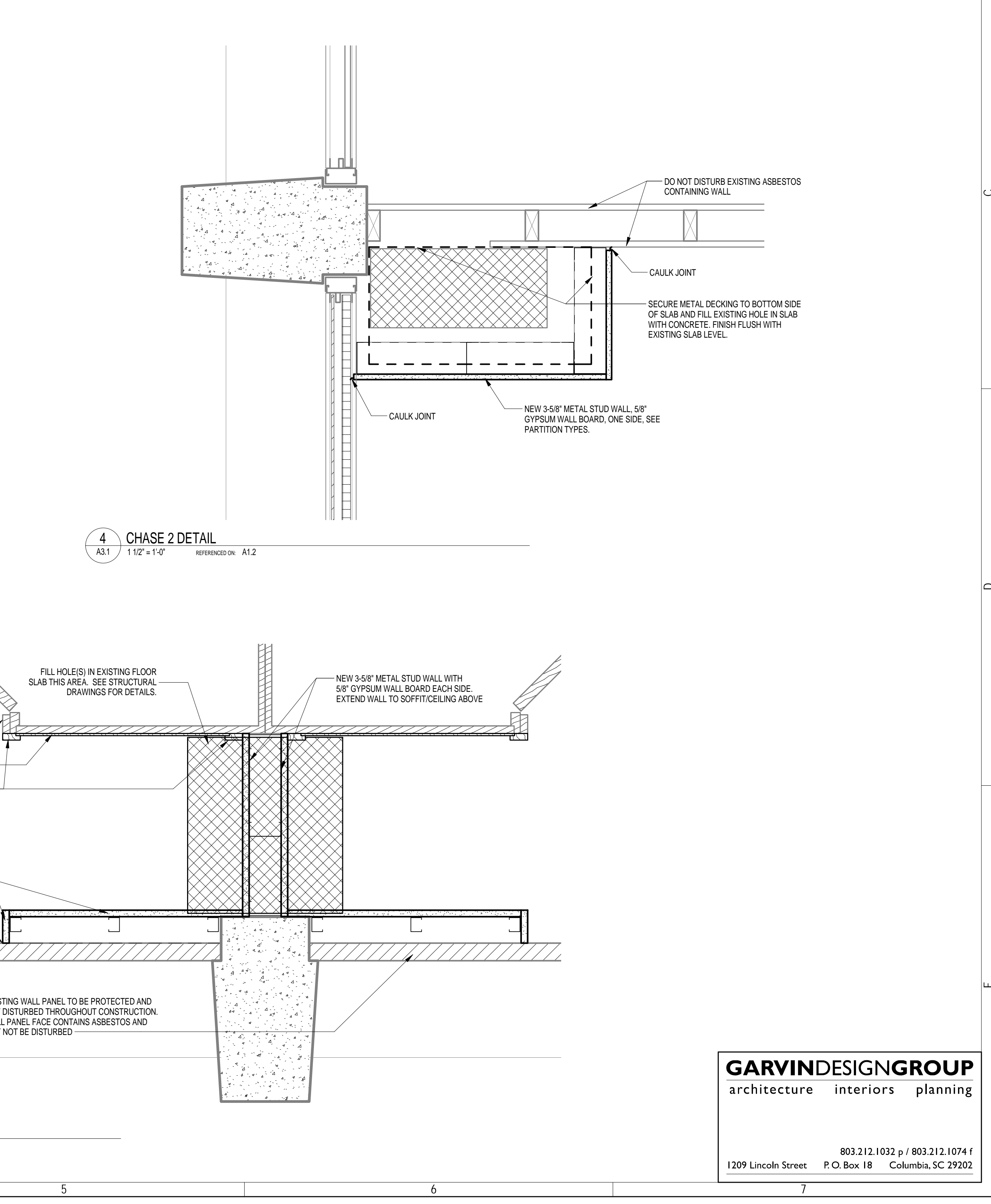
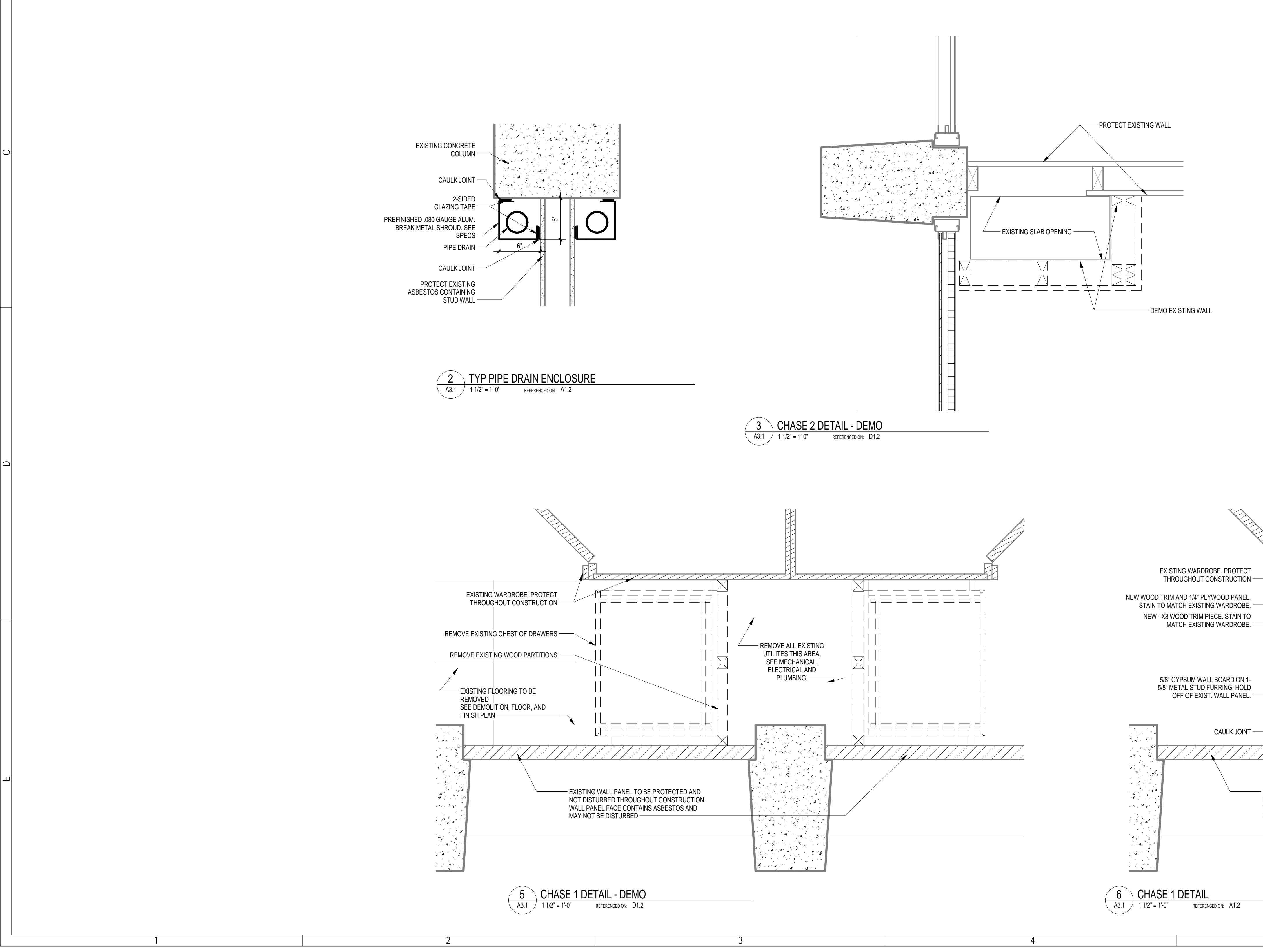
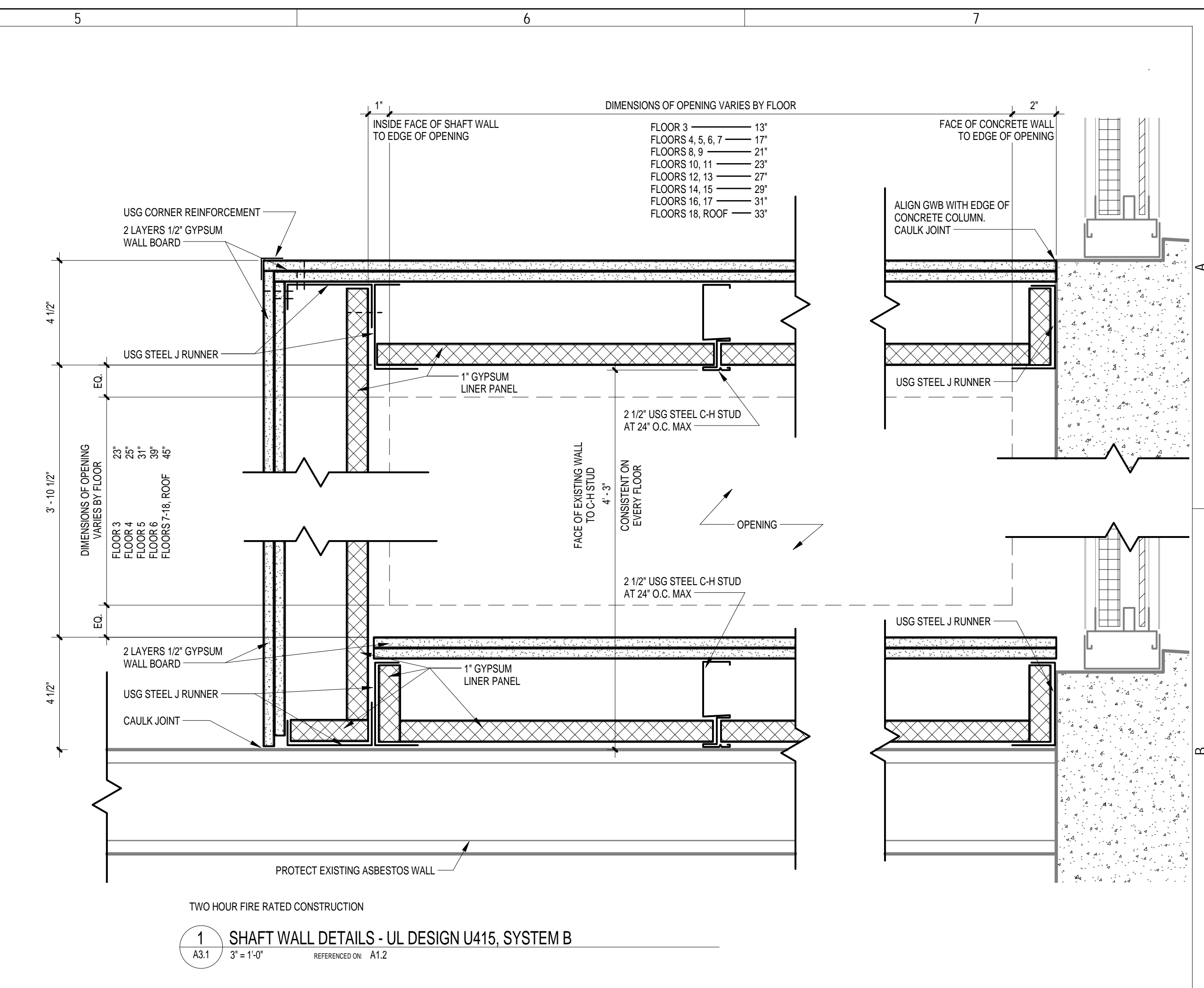
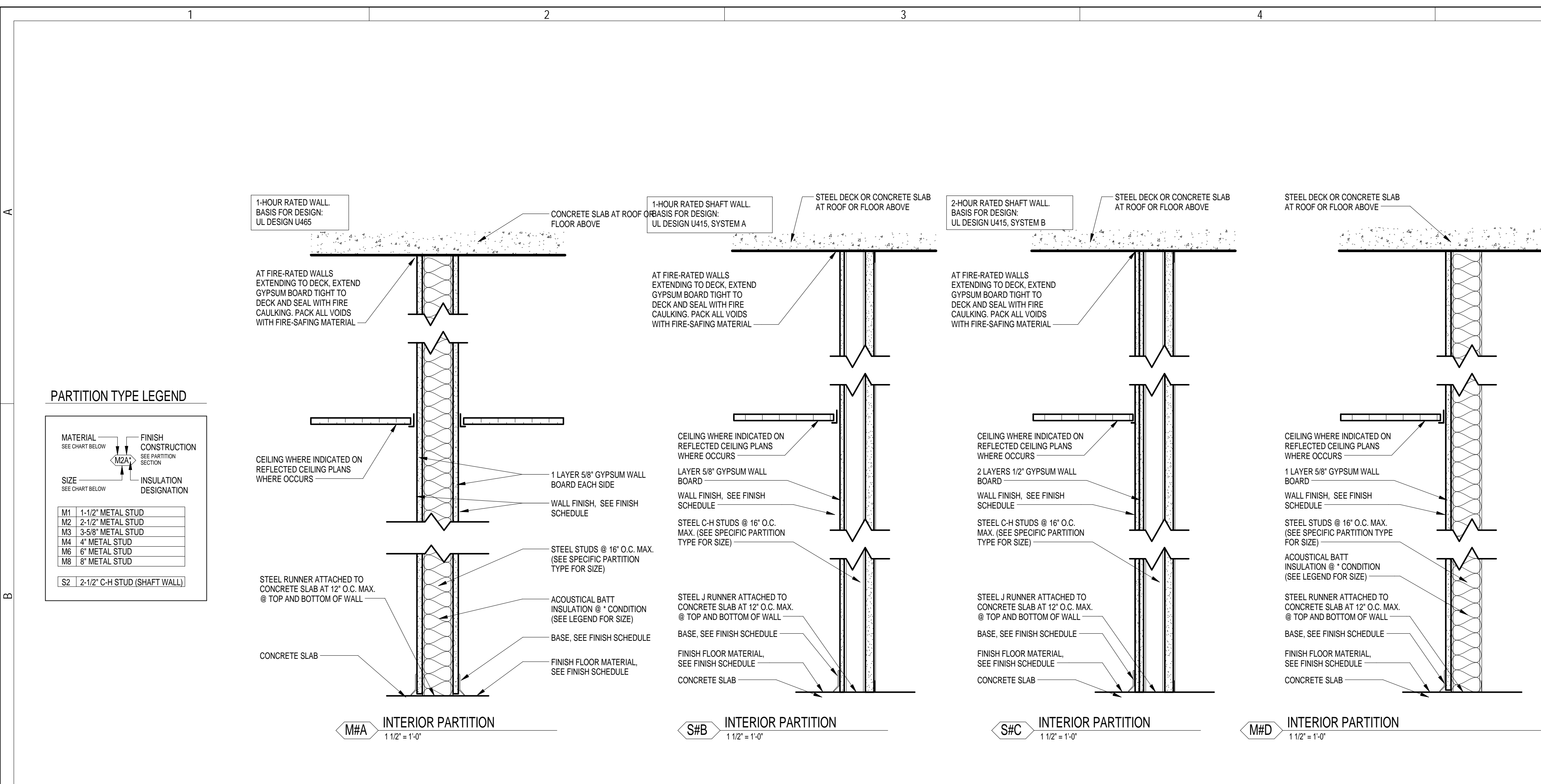
**3 ROOM 1813 PHASE A SOFFIT SECTION**  
1/2" = 1'-0"  
REFERENCED ON: A2.3



**7 ROOM 1813 PHASE A SOFFIT PLAN**  
1/2" = 1'-0"  
REFERENCED ON: A2.3

**1 18TH FLOOR REFLECTED CEILING PLAN**  
1/4" = 1'-0"  
REFERENCED ON:





**Swygert & Associates**  
CONSULTING ENGINEERS

803 Swygert & Assoc., Ltd.  
Post Office Box 11686  
Columbia, S.C. 29211  
Telephone: (803) 791-0300  
Facsimile: (803) 791-0830  
mailto:swygert@swygert.com

**SOUTH TOWER**  
MECHANICAL RENOVATIONS  
UNIVERSITY OF SOUTH CAROLINA  
STATE PROJECT NUMBER H27-6082-NA  
BID DOCUMENTS

DRAWING	DATE	DESCRIPTION	CHECKED BY	DRAWN BY	DATE	ORIG BY
	03/15/12		SAL			

THIS DRAWING AND THE PROJECT OF WHICH IT IS A PART ARE THE PROPERTY OF SWYBERT & ASSOCIATES, INC. NO REPRODUCTION, COPYING, OR TRANSMISSION IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, IS PERMITTED WITHOUT THE WRITTEN CONSENT OF SWYBERT & ASSOCIATES, INC. ANY VIOLATION WILL BE SUBJECT TO LEGAL ACTION.

**GARVINDESIGNGROUP**  
architecture interiors planning

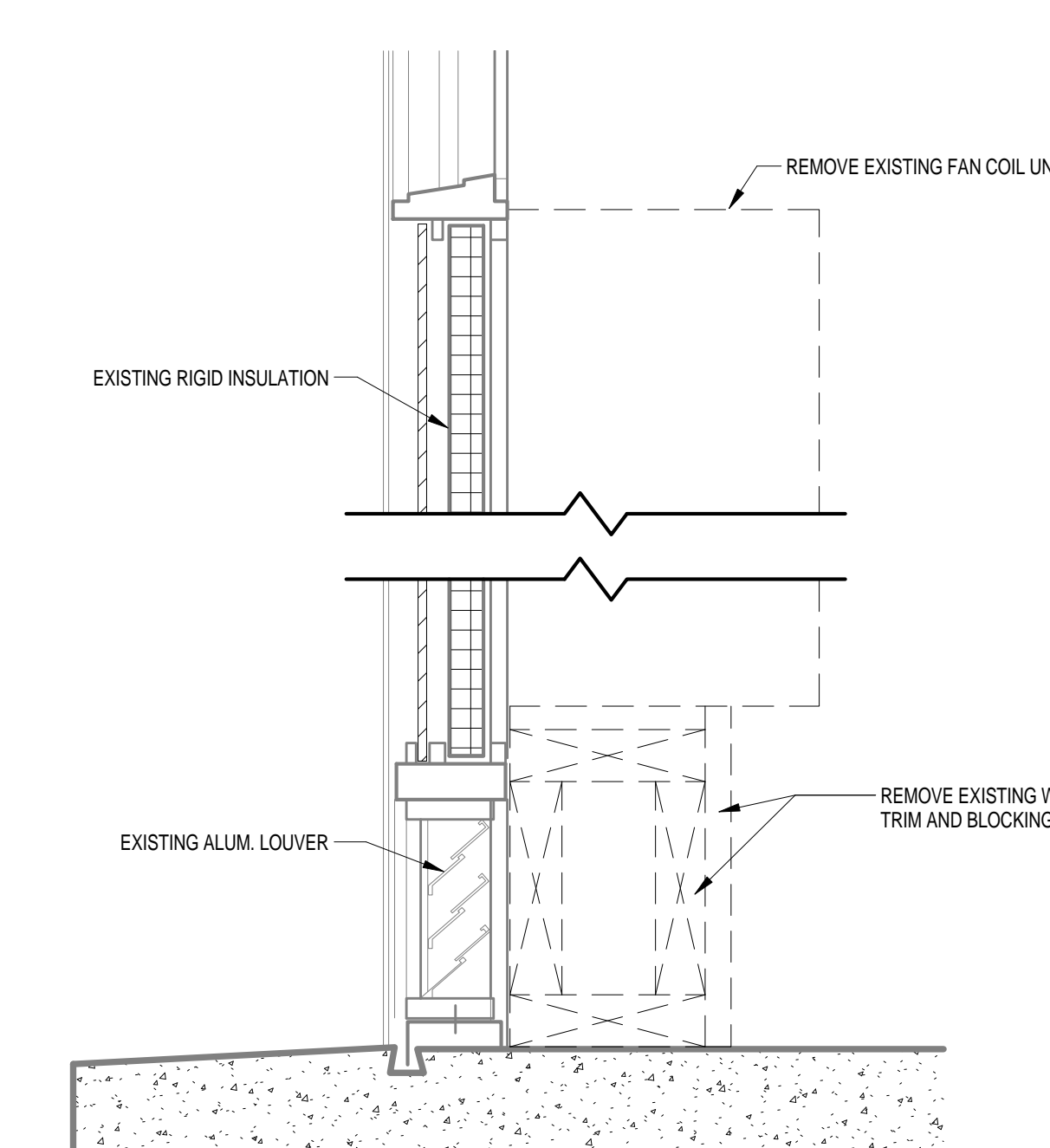
803.212.1032 p / 803.212.1074 f  
1209 Lincoln Street P.O. Box 18 Columbia, SC 29202

**DETAILS**

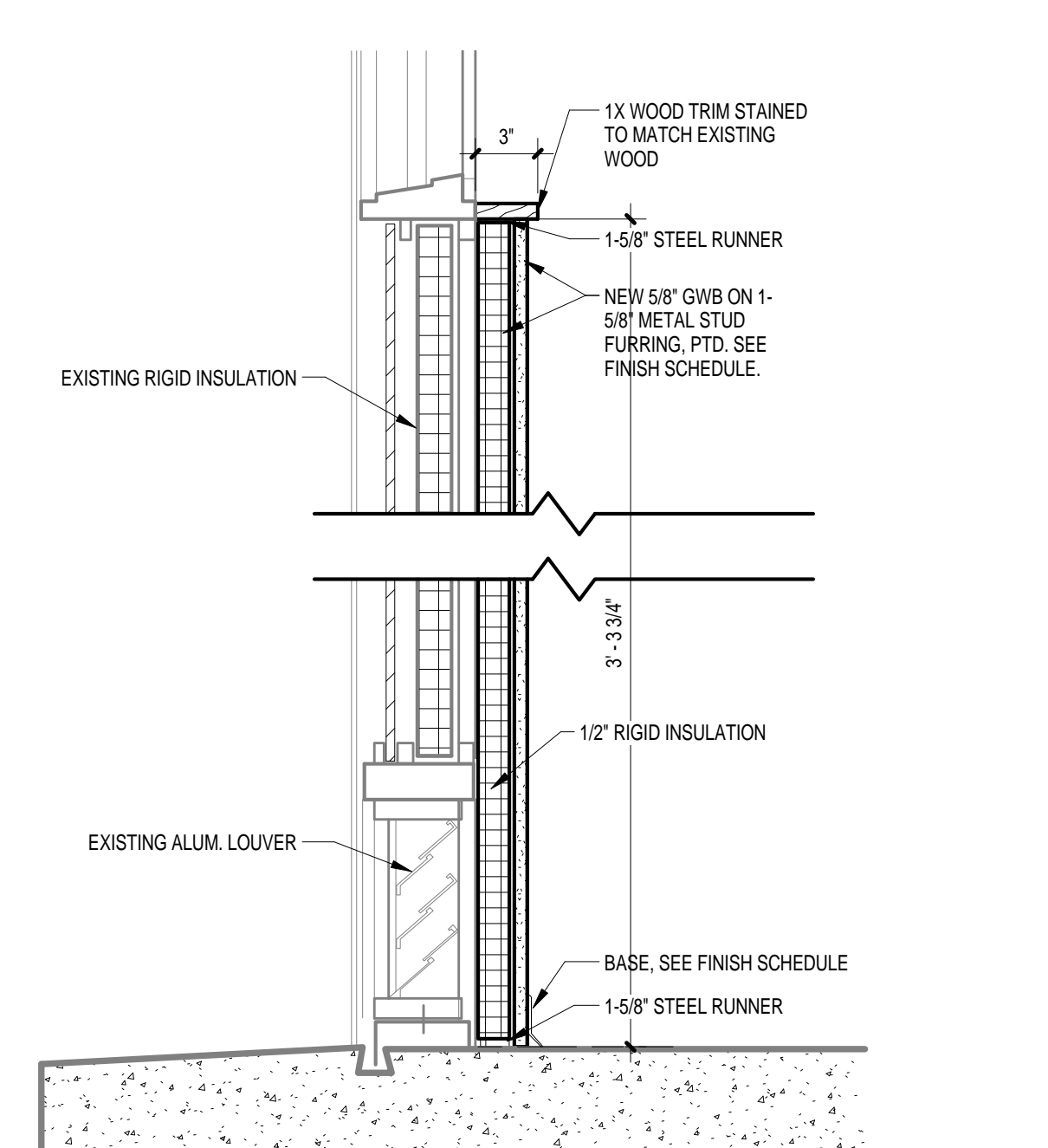
SHEET TITLE: **DETAILS**

SHEET: **A3.1**

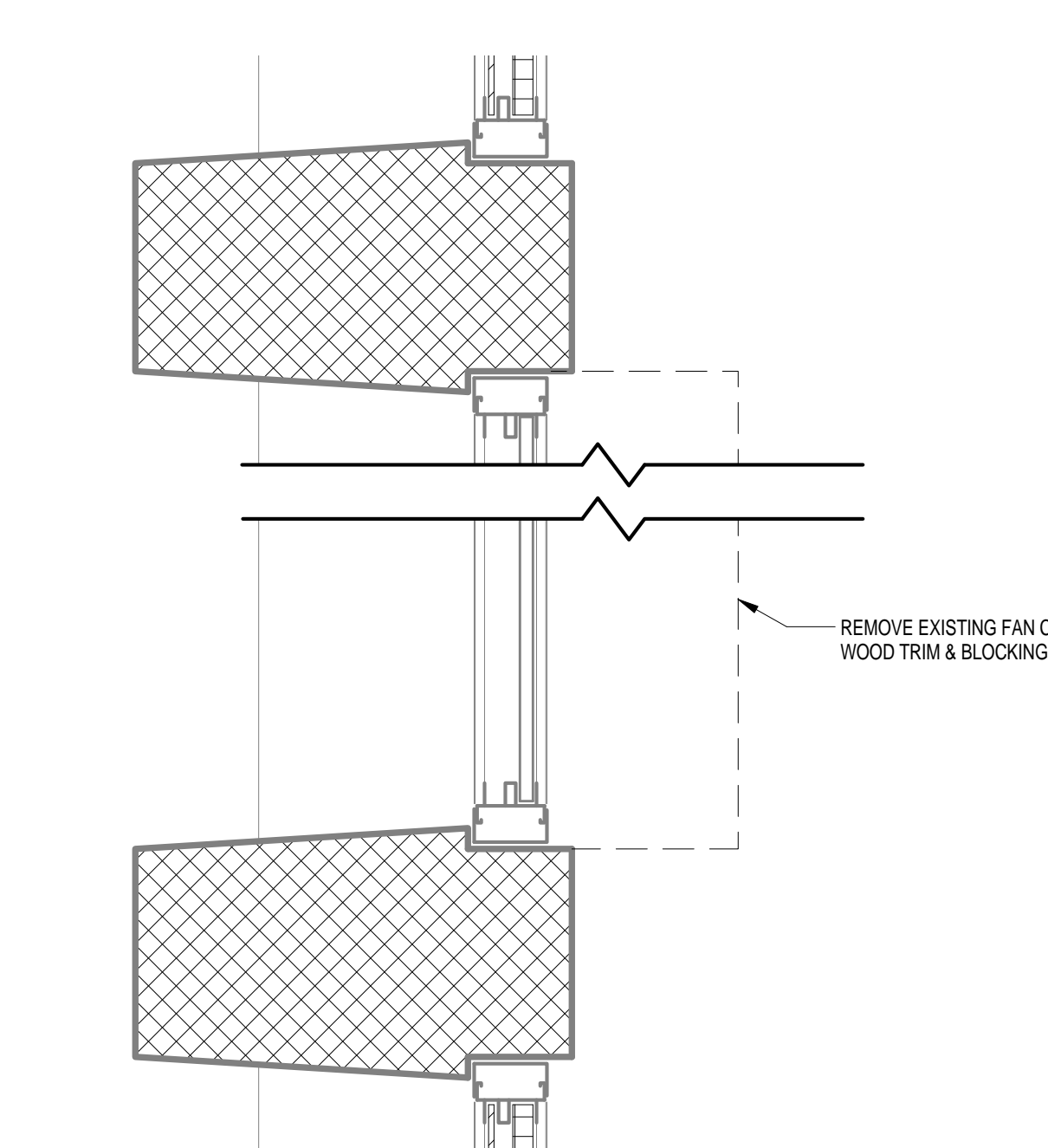




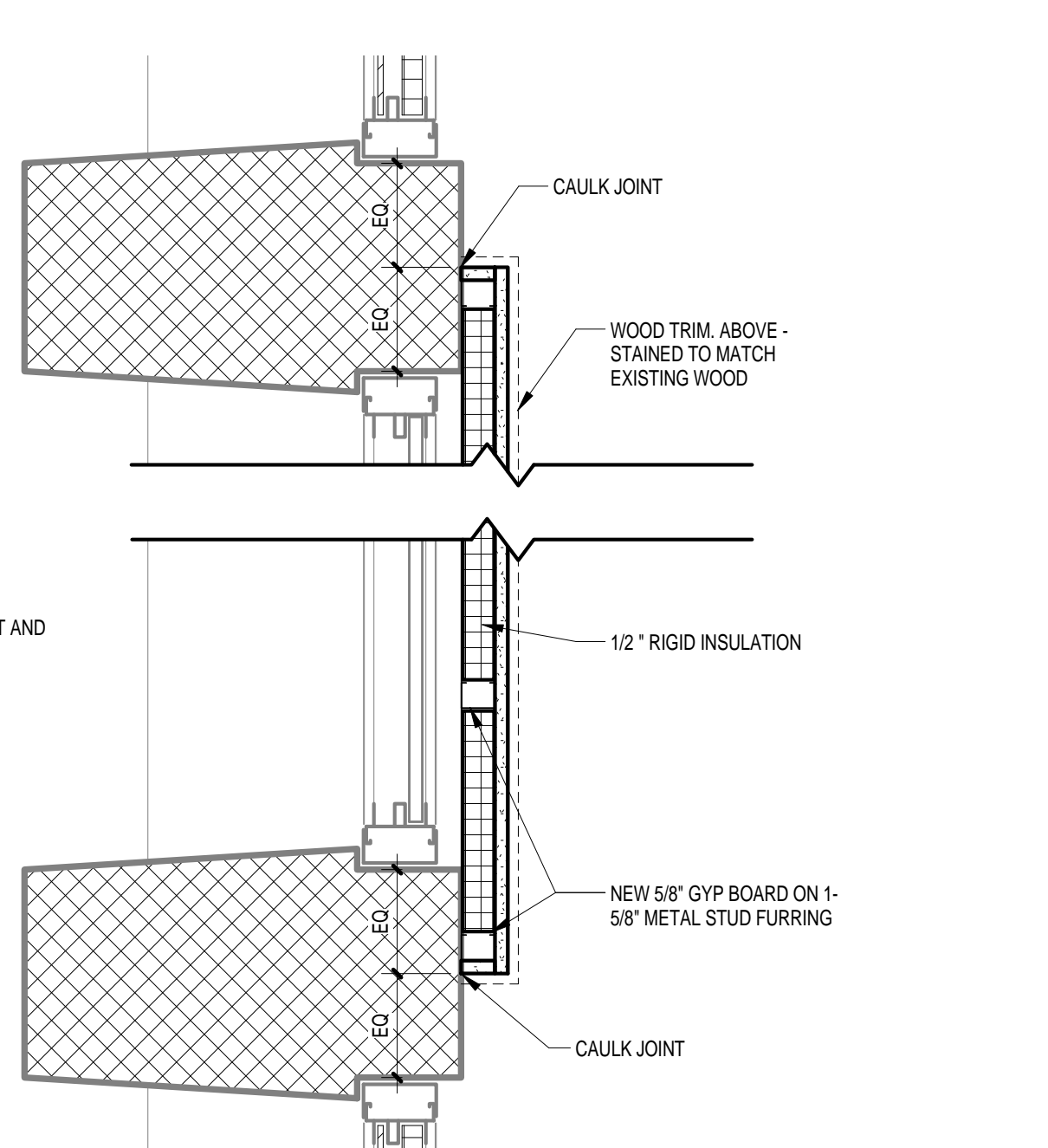
**1 FAN COIL SECTION - DEMO**  
A32 1/12" = 1'-0" REFERENCED ON: D1.2



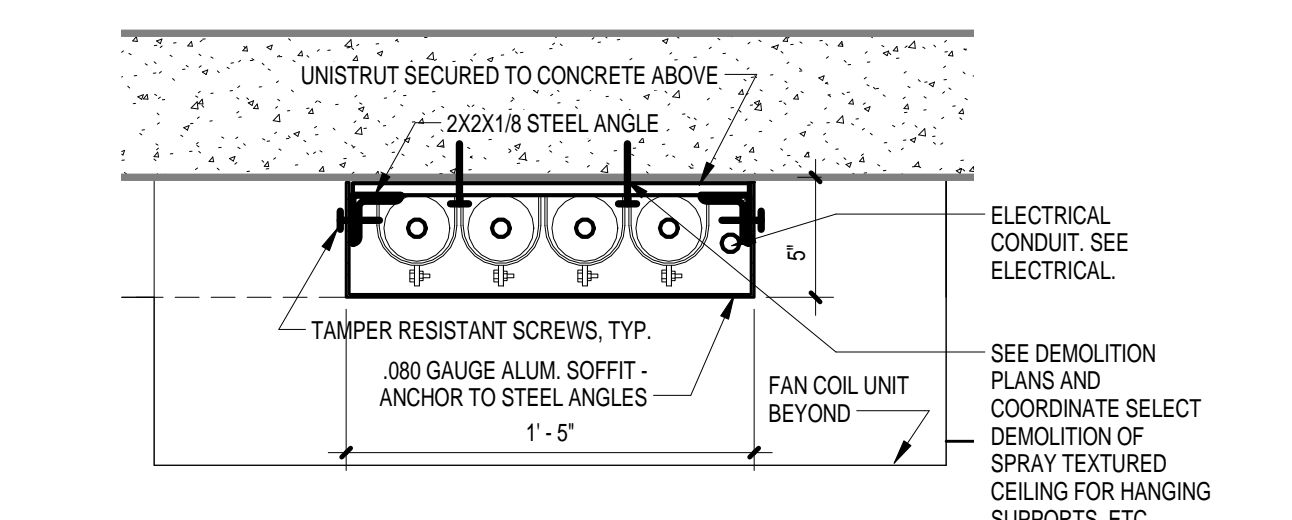
**2 FAN COIL SECTION**  
A32 1/12" = 1'-0" REFERENCED ON: A1.2



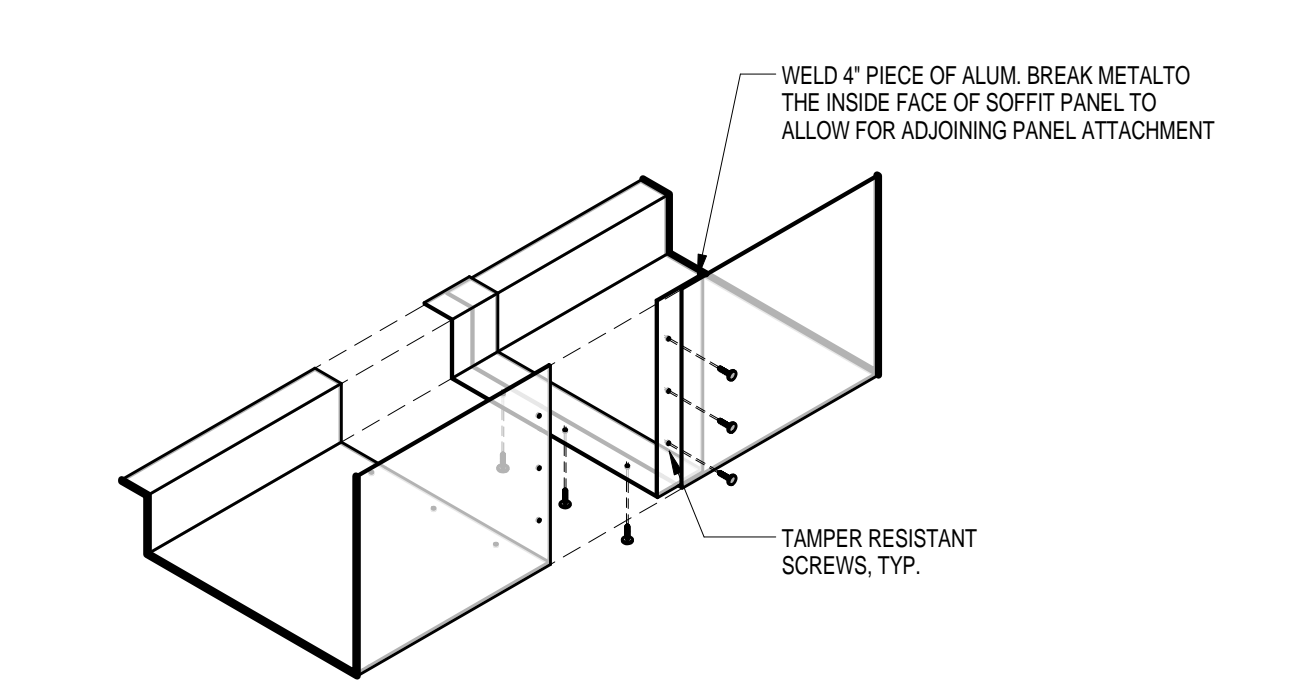
**3 FAN COIL CALLOUT - DEMO**  
A32 1/12" = 1'-0" REFERENCED ON: D1.2



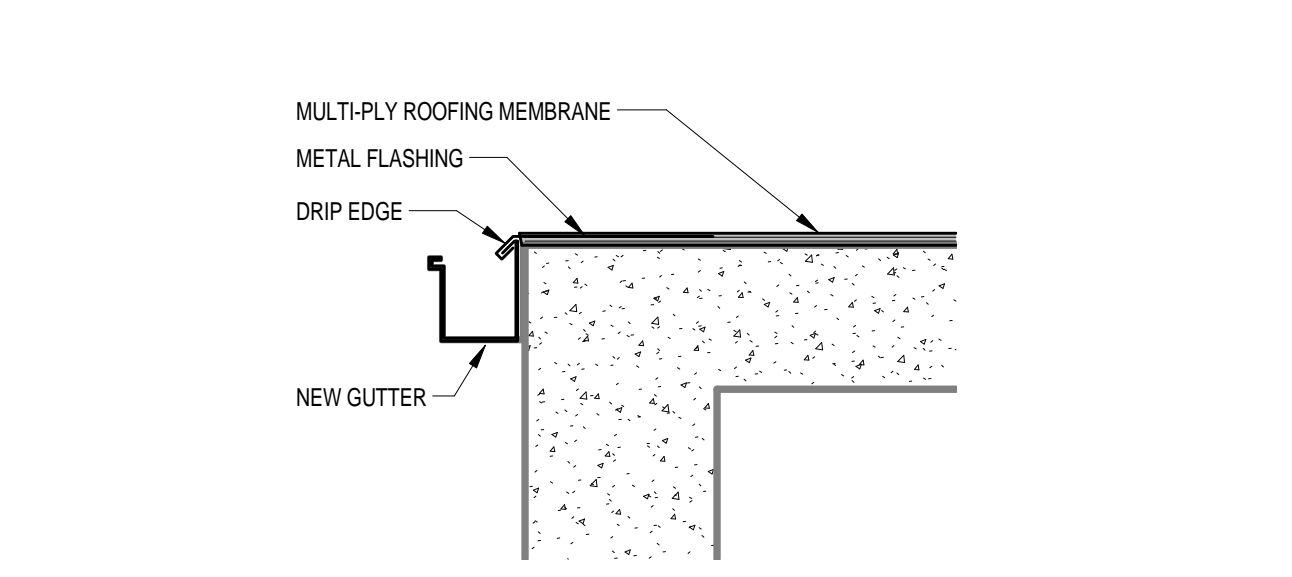
**4 FAN COIL CALLOUT**  
A32 1/12" = 1'-0" REFERENCED ON: A1.2



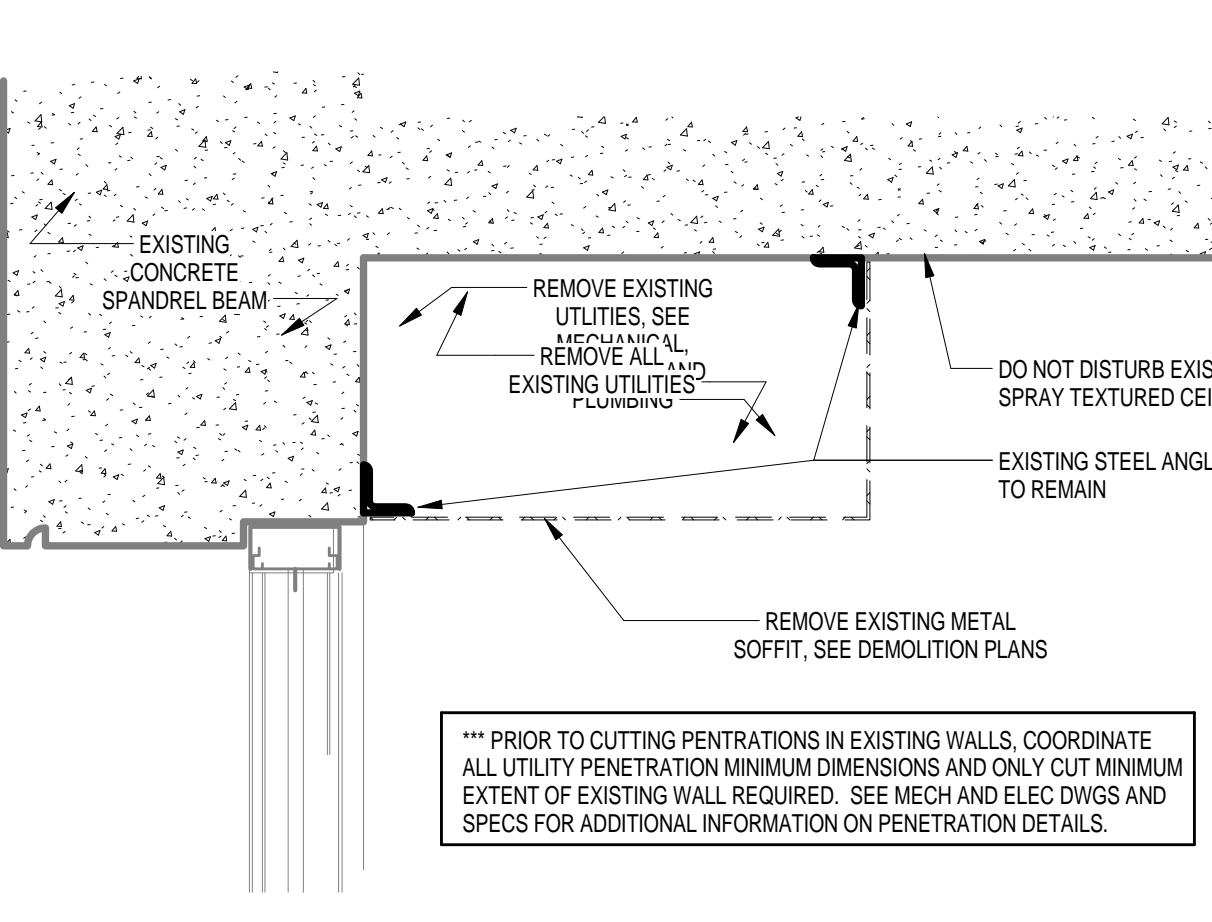
**8 TYPICAL PIPE ENCLOSURE DETAIL**  
A32 1/12" = 1'-0" REFERENCED ON: A2.2



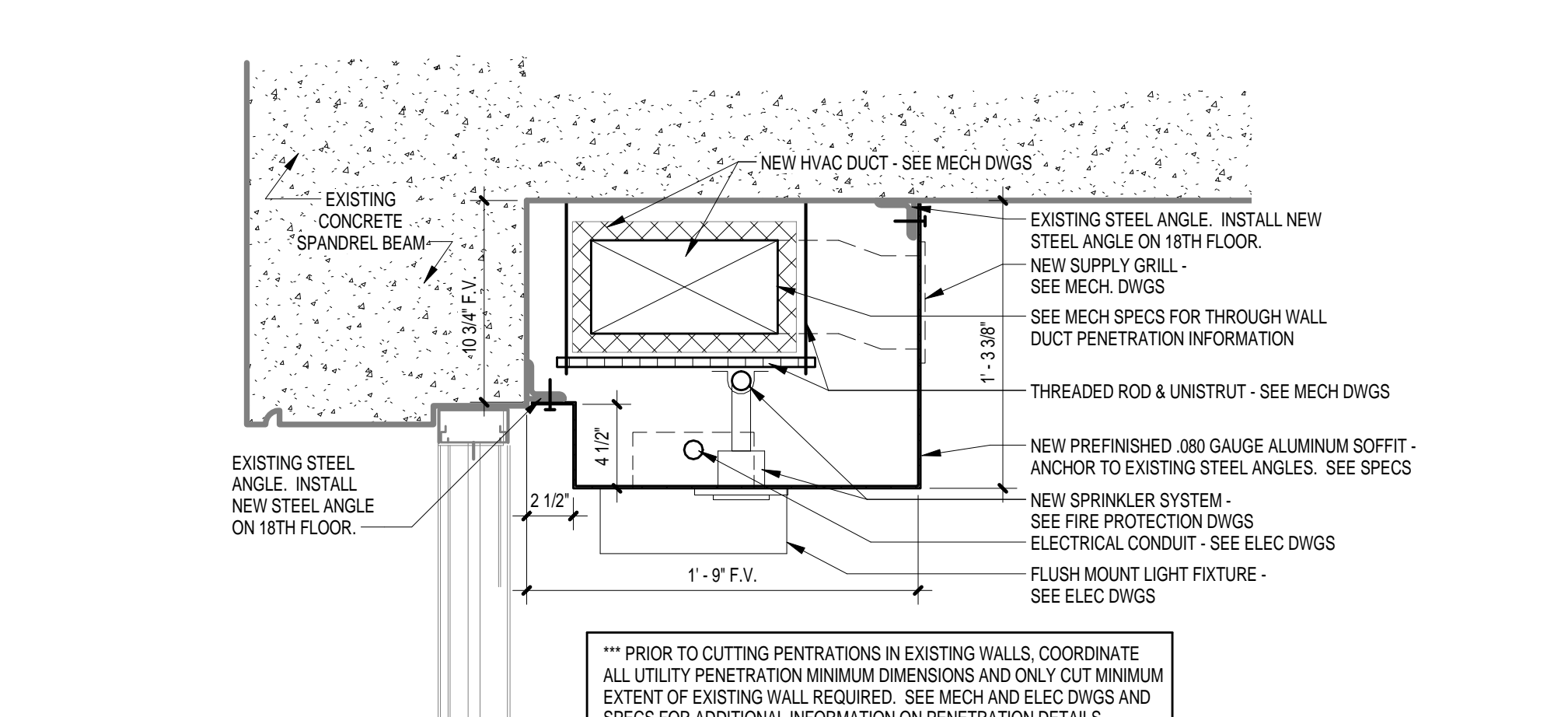
**9 TYP. SOFFIT PANEL JOINT DETAIL**  
A32 REFERENCED ON:



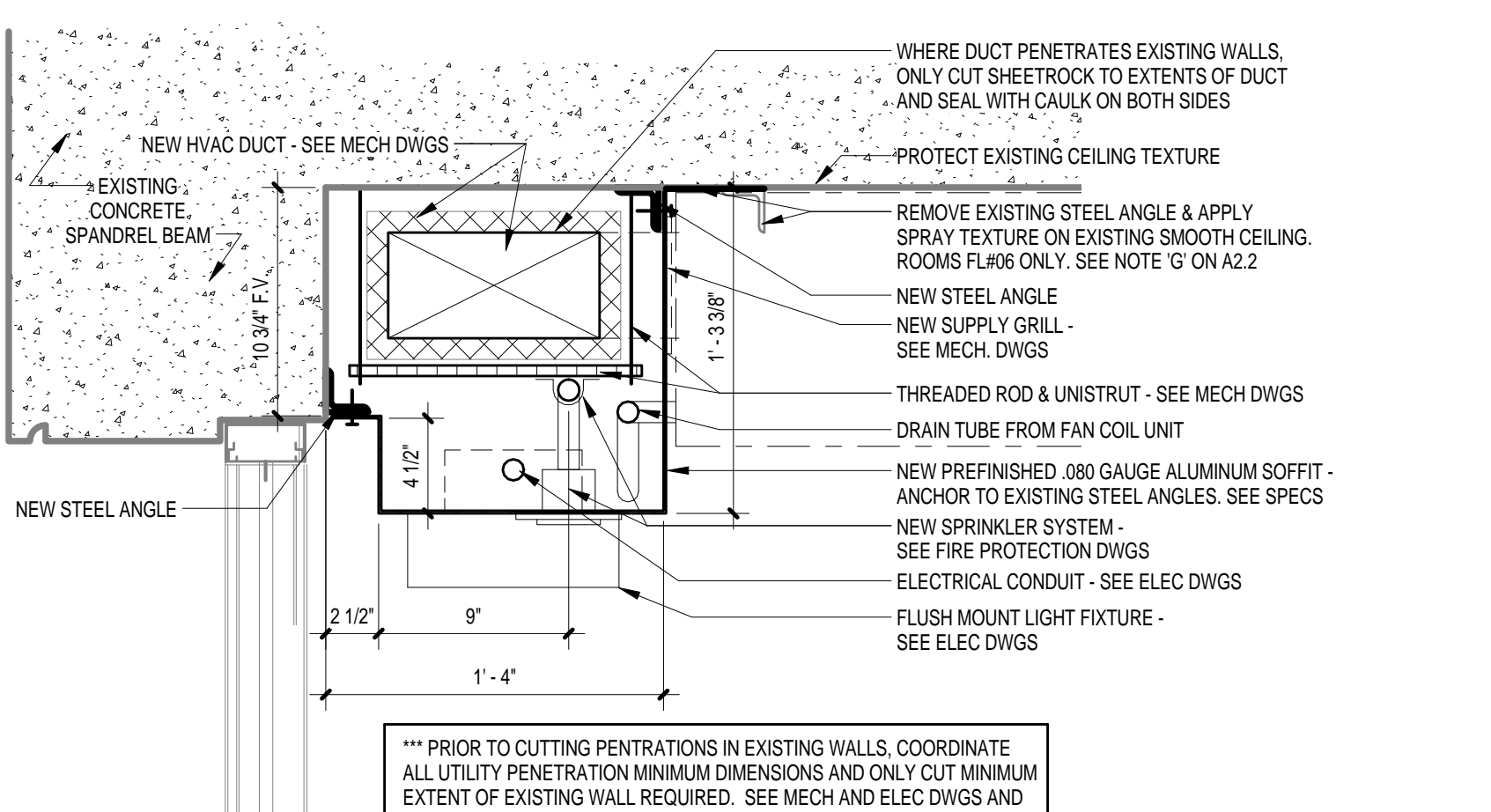
**10 PENTHOUSE ROOF SECTION**  
A32 1/12" = 1'-0" REFERENCED ON: A1.4



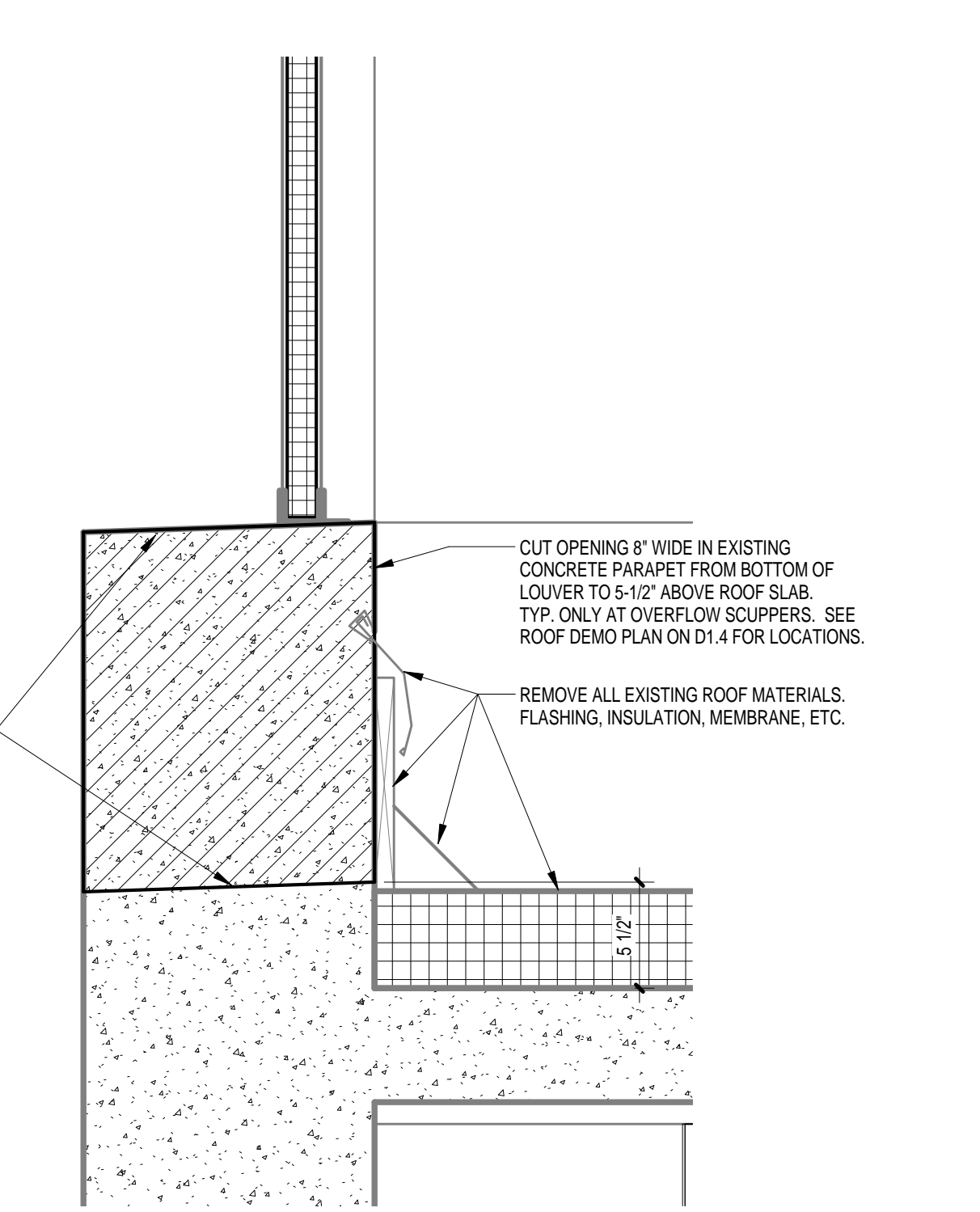
**5 SOFFIT - DEMO**  
A32 1/12" = 1'-0" REFERENCED ON: D1.2



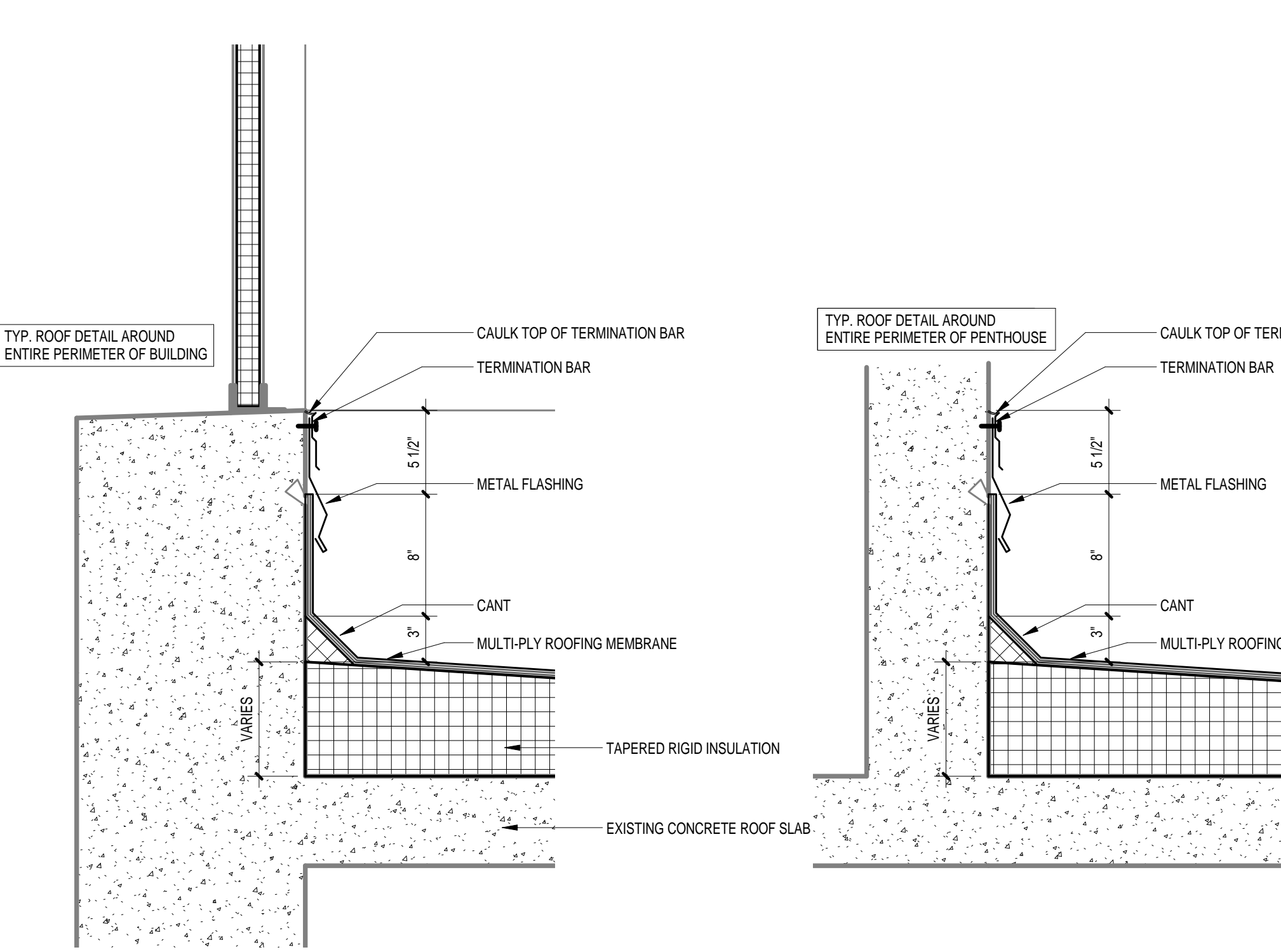
**6 TYPE 'B' SOFFIT SECTION**  
A32 1/12" = 1'-0" REFERENCED ON: A2.2



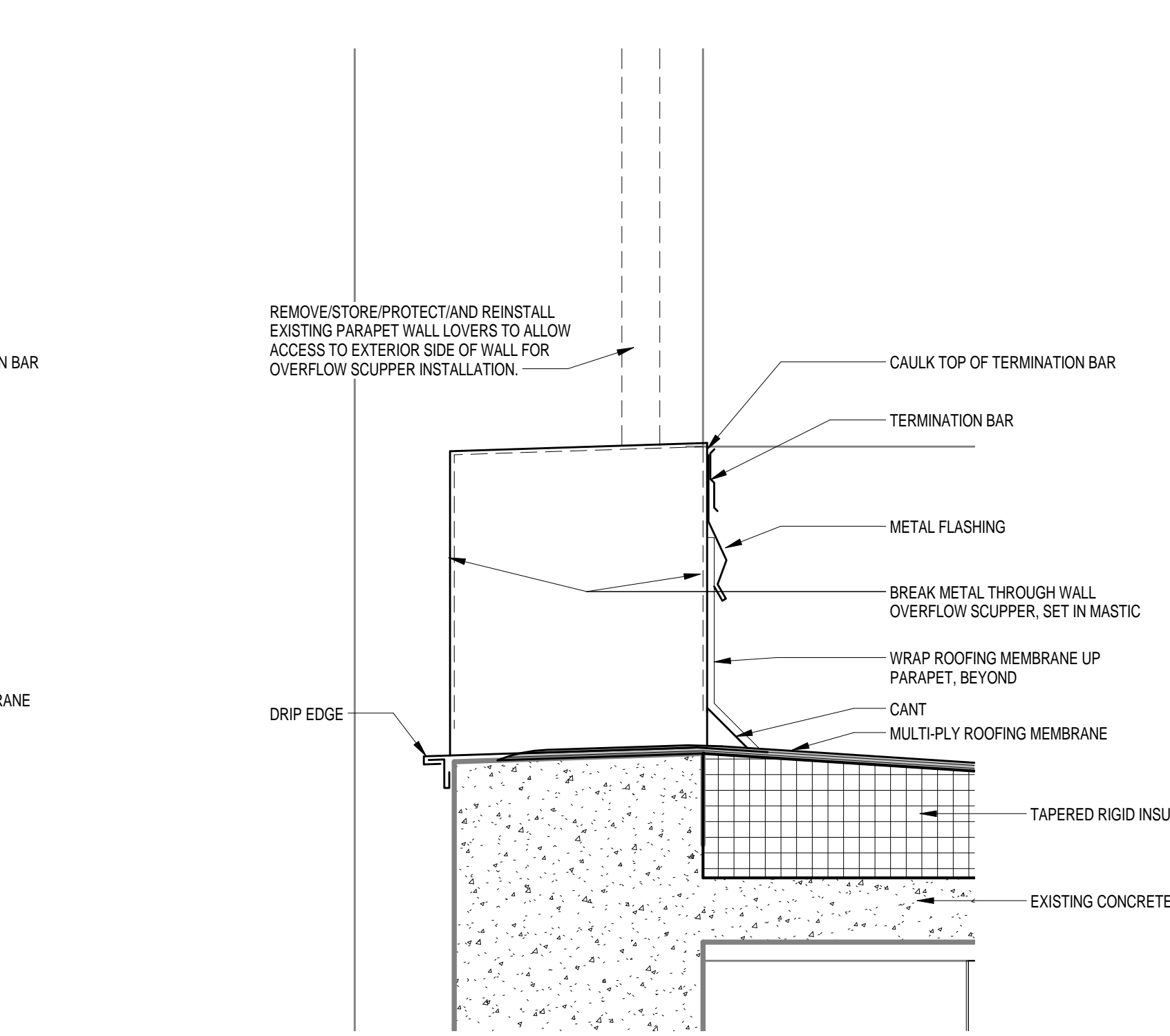
**7 TYPE 'A' SOFFIT SECTION**  
A32 1/12" = 1'-0" REFERENCED ON: A2.2



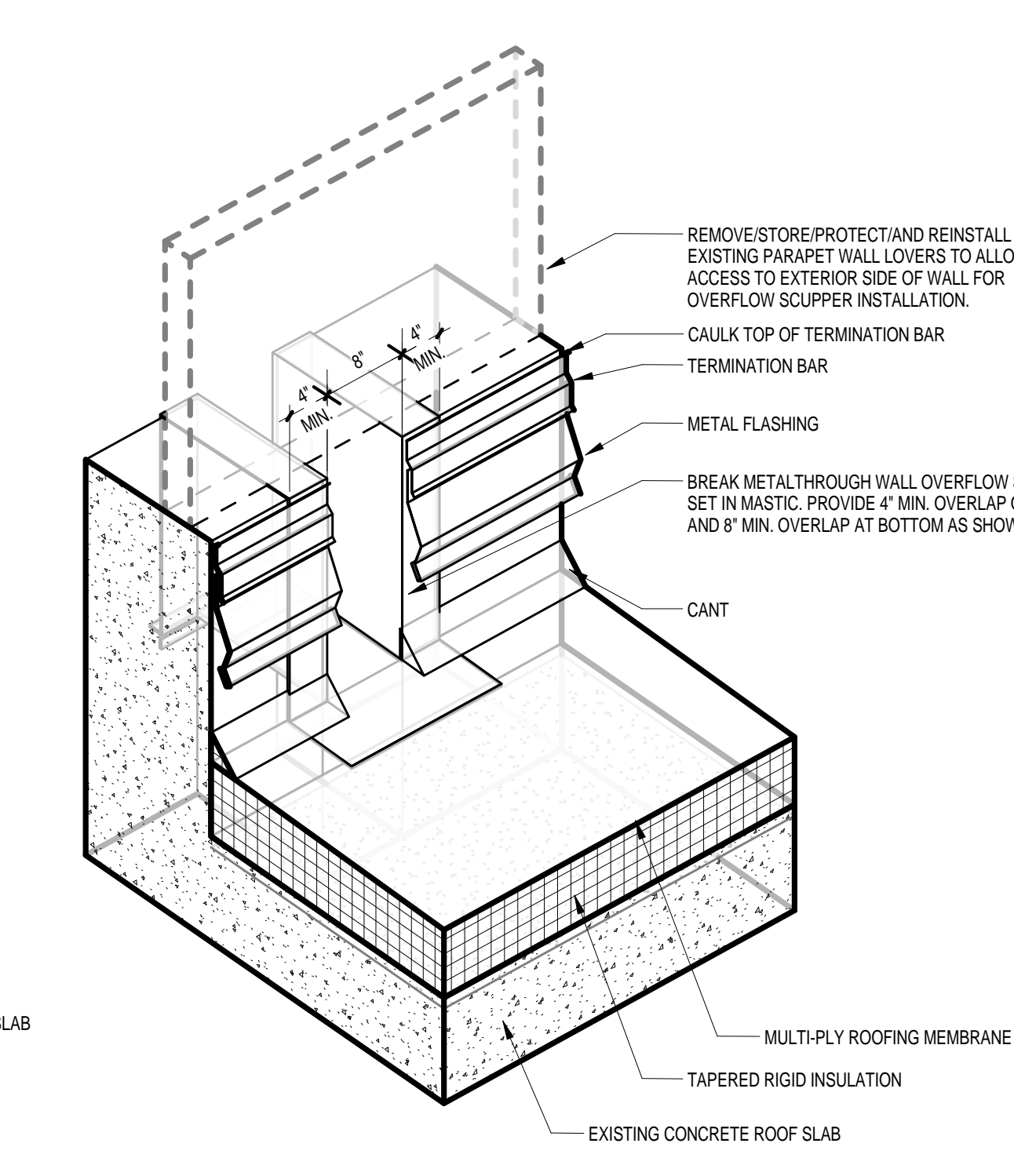
**11 ROOF SECTION DETAIL - DEMO**  
A32 1/12" = 1'-0" REFERENCED ON: D1.4



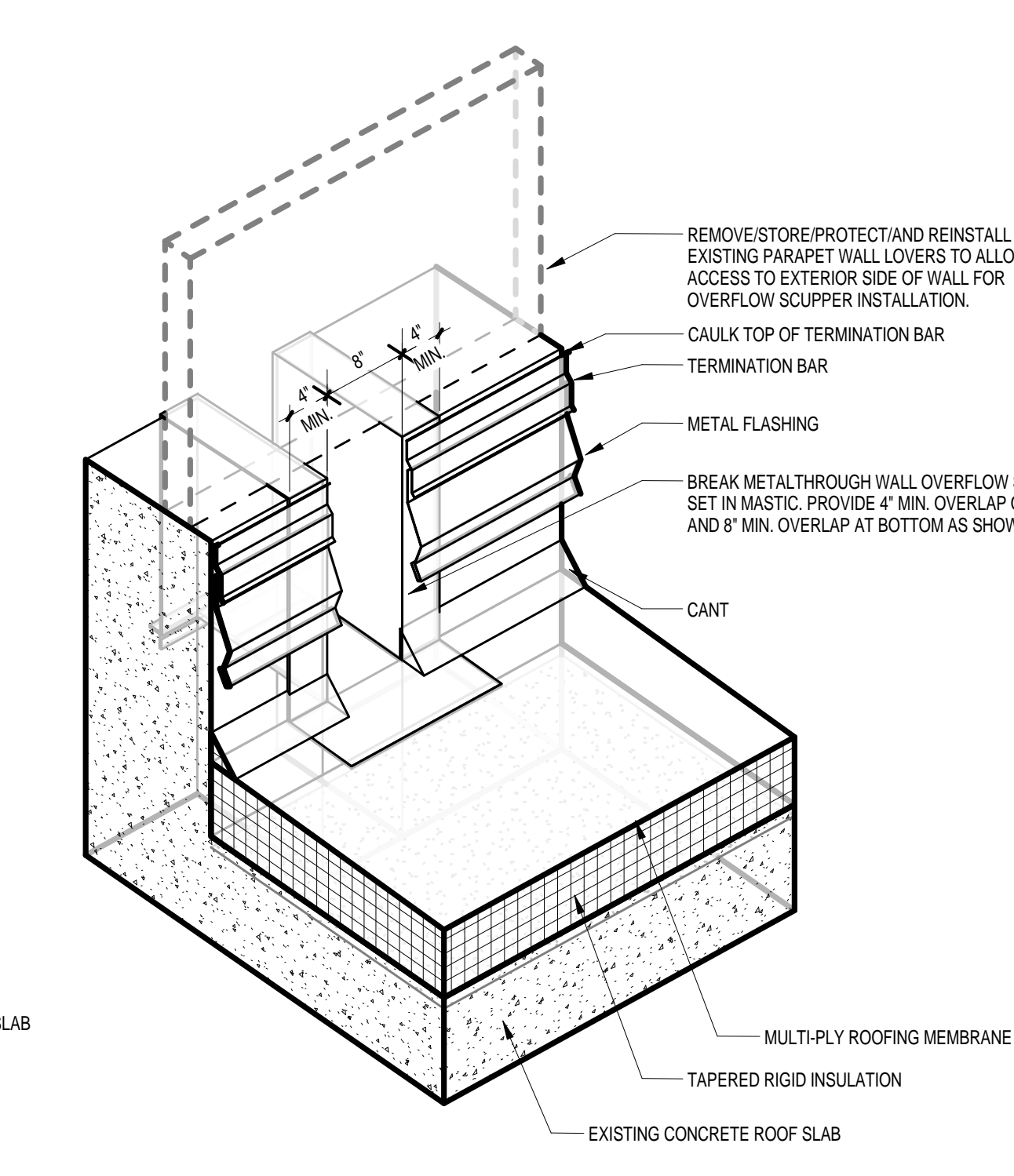
**12 PARAPET SECTION DETAIL**  
A32 1/12" = 1'-0" REFERENCED ON: A1.4



**13 PENTHOUSE WALL SECTION**  
A32 1/12" = 1'-0" REFERENCED ON: A1.4



**14 TYP SCUPPER SECTION DETAIL**  
A32 1/12" = 1'-0" REFERENCED ON: A1.4



**15 SHEET SCUPPER AXON**  
A32 REFERENCED ON:

**GARVINDESIGNGROUP**  
architecture interiors planning

803.212.1032 p / 803.212.1074 f  
1209 Lincoln Street P.O. Box 18 Columbia, SC 29202

**Swygert & Associates**  
CONSULTING ENGINEERS

903.791.0300  
903.791.0830  
903.791.1686  
903.791.2311

**SOUTH TOWER**  
**MECHANICAL RENOVATIONS**  
UNIVERSITY OF SOUTH CAROLINA  
STATE PROJECT NUMBER H27-6082-NA  
BID DOCUMENTS

DATE	DESCRIPTION	DRAWN BY	CHECKED BY
03/15/12			

THIS DRAWING AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF SWYGERT & ASSOCIATES, INC. NO PART OF THIS DRAWING OR INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF SWYGERT & ASSOCIATES, INC. SEE SUBJECT TO LOCAL ACTS.

**DETAILS**

SHEET: **A3.2**

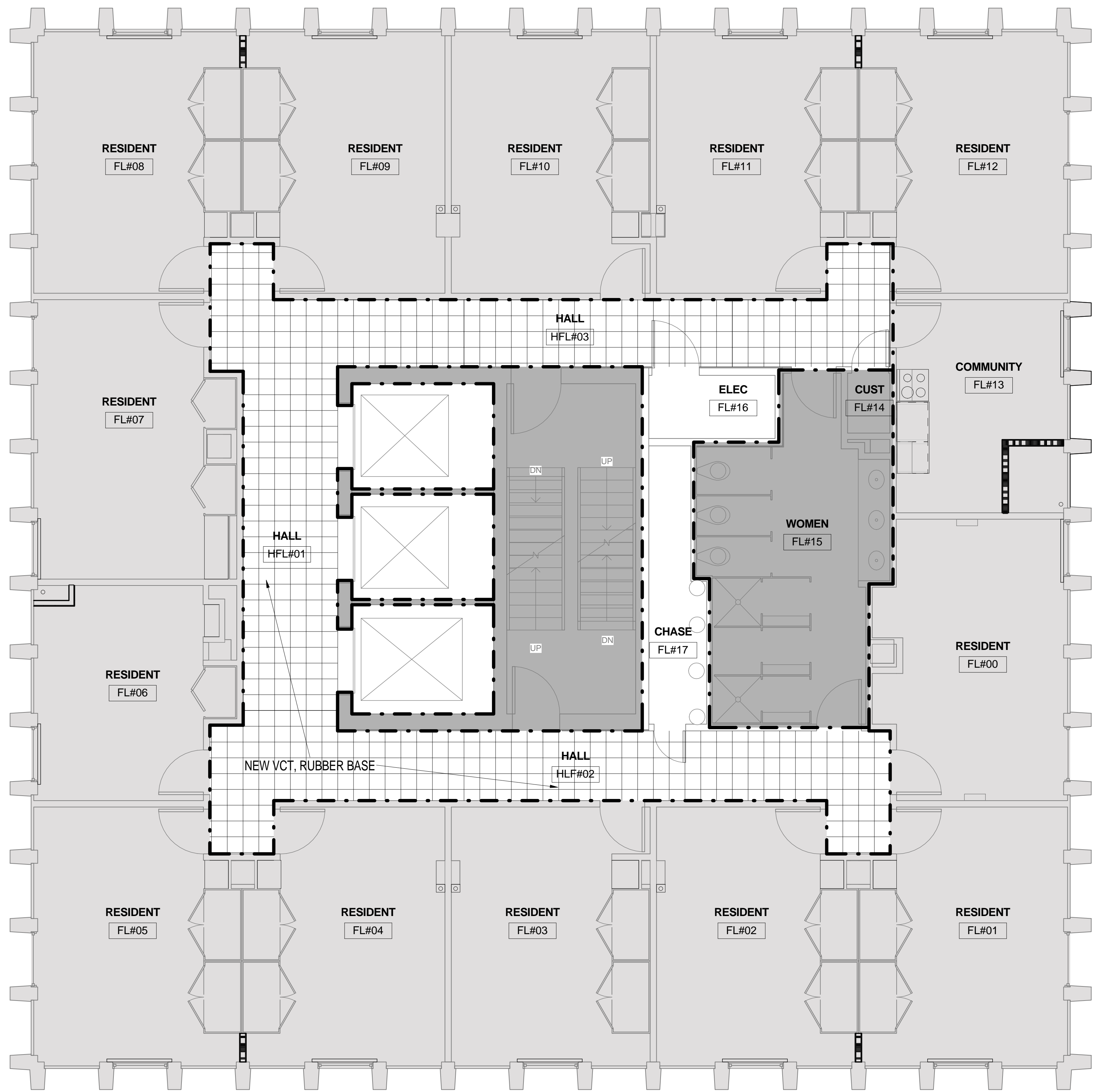












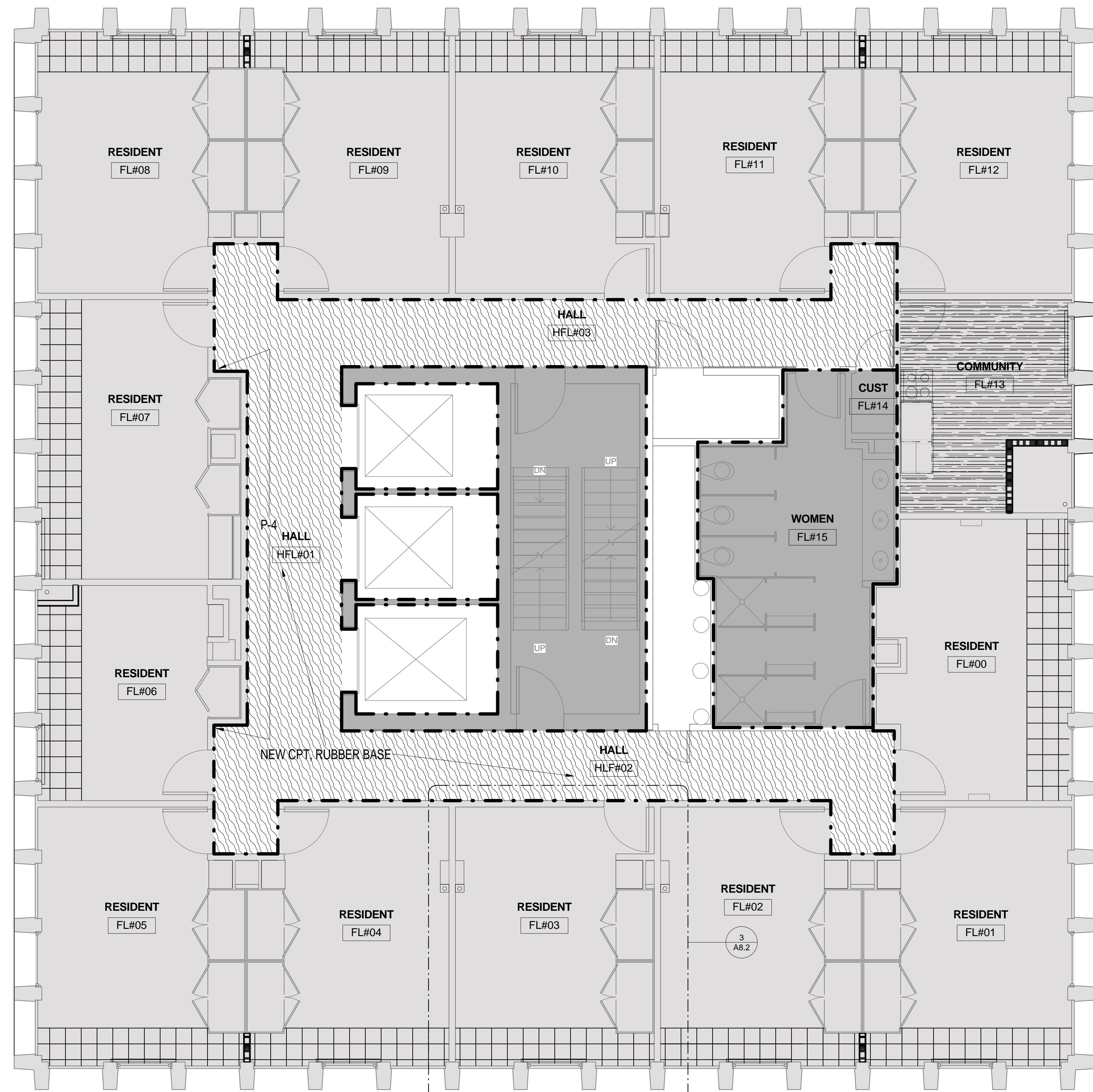
PHASE A  
**2** TYPICAL FINISH PLAN - LEVEL 2-18  
 A8.2 1/4" = 1'-0"

PHASE A WORK - NOTE TO CONTRACTORS:

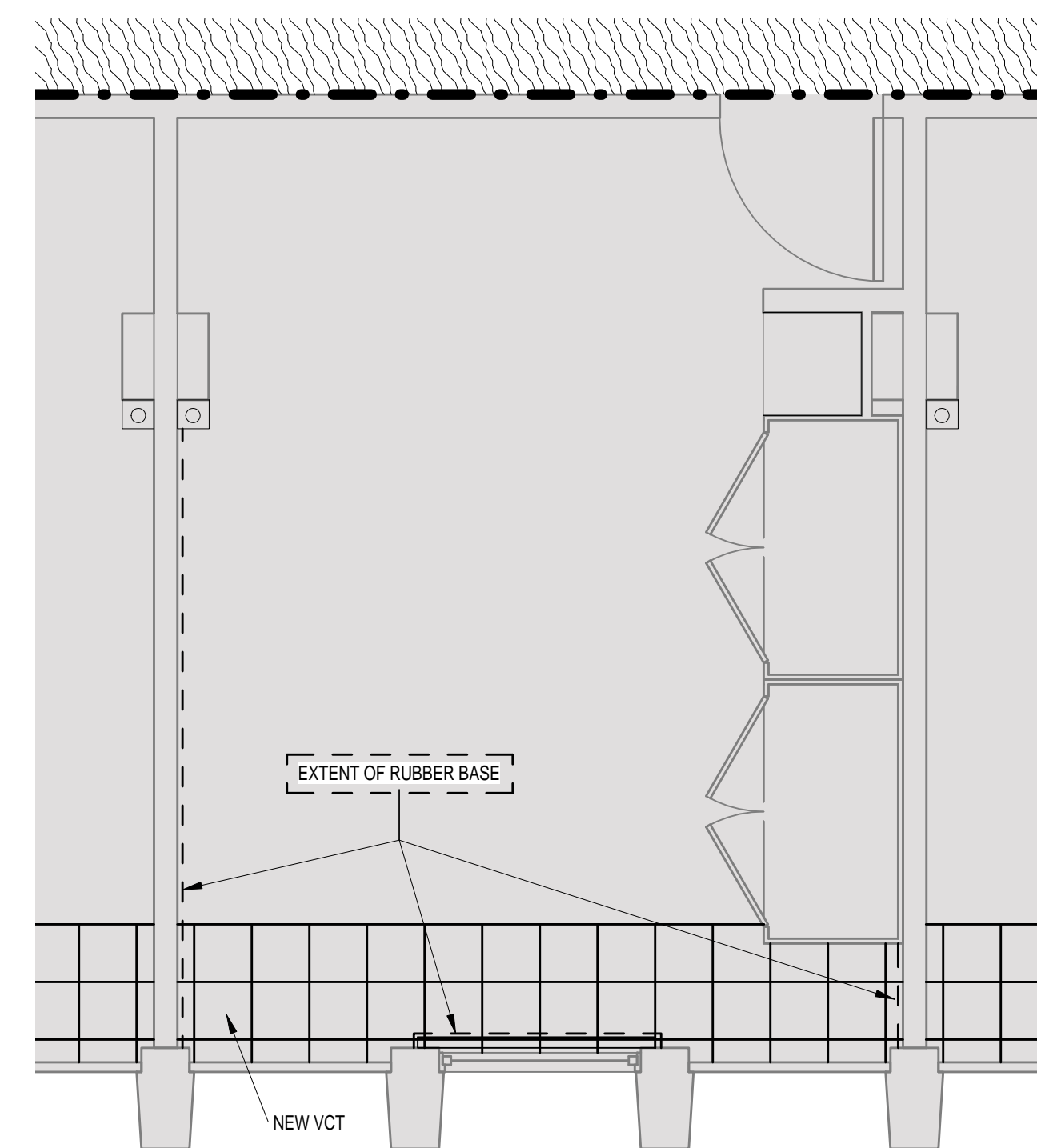
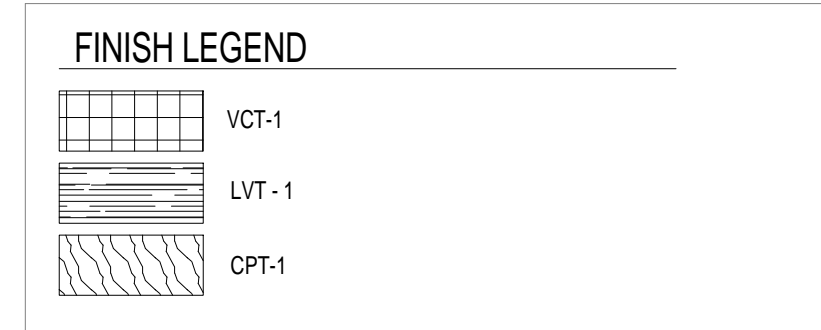
1. NO PENETRATIONS OR ATTACHMENTS TO THE EXISTING GYPSUM BOARD PARTITIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.
2. THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE GYPSUM BOARD MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CORRIDOR PARTITIONS ON THE EXISTING FLOORS 2 THRU 18 AND OTHER PARTITIONS ON THE BASEMENT AND GROUND LEVELS. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE GYPSUM BOARD MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.

PHASE B WORK - NOTE TO CONTRACTORS:

1. DURING THE PROCESS OF INSTALLING HANGERS, SOFFITS, FAN COILS, METAL PAN COVERS, NEW PARTITIONS OR ANY OTHER MATERIAL OR EQUIPMENT AT THE CEILING OF THE EXISTING RESIDENT ROOMS ON FLOORS 2 THRU 18, THE CONTRACTOR SHALL NOT COME IN CONTACT WITH THE SPRAY APPLIED TEXTURED CEILING MATERIAL THAT IS TO REMAIN IN PLACE AFTER THE PARTIAL ABATEMENT OF ASBESTOS FROM THE CEILING. CONTAMINATION OF THESE SPACES CAUSED BY DAMAGE TO THE CEILING MATERIAL SHALL BE CLEANED UP AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO, COSTS ASSOCIATED WITH CLEARING THESE SPACES FOR RE-ACCESS, I.E. AIR SAMPLING.
2. DURING THE PROCESS OF INSTALLING UL RATED RACEWAYS AT CORRIDOR WALL PENETRATION, INSTALLATION OF NEW PARTITIONS, THE CONTRACTOR SHALL NOT DISTURB THE EXISTING GYPSUM BOARD IN ANY FASHION. NO PENETRATIONS WILL BE ALLOWED ONCE THE ASBESTOS ABATEMENT HAS BEEN COMPLETED BY THE ABATEMENT CONTRACTOR.



PHASE B  
**1** TYPICAL FINISH PLAN - LEVEL 2-18  
 A8.2 1/4" = 1'-0"



**3** TYPICAL ROOM FINISH PLAN  
 A8.2 3/8" = 1'-0"

**GARVINDESIGNGROUP**  
 architecture interiors planning

803.212.1032 p / 803.212.1074 f  
 1209 Lincoln Street P.O. Box 18 Columbia, SC 29202

**Swygert & Associates**  
 CONSULTING ENGINEERS  
 DBA Swygert & Assoc. Ltd. Telephone: (803) 791-9300  
 Post Office Box 11488 Fax: (803) 791-0830  
 Columbia, S.C. 29211  
 info@swygert-associates.com

**SOUTH TOWER**  
**MECHANICAL RENOVATIONS**  
 UNIVERSITY OF SOUTH CAROLINA  
 STATE PROJECT NUMBER H27-6082-NA  
 BID DOCUMENTS

DRAWING	DATE	DESCRIPTION	DATE	DATE	DATE	DATE	DATE
	03/15/12						

**TYPICAL FINISH PLAN,**  
**LEVELS 2-18**

SHEET:  
**A8.2**